



**WELGEVONDEN HOME OWNERS' ASSOCIATION
(WHOA)
ARCHITECTURAL DIRECTIVES
AND
DESIGN GUIDELINES
FOR
WELGEVONDEN ESTATE, STELLENBOSCH
Including Control Measures to regulate the
Preparation and Processing of Building Plans**

Version 8 – 24 November 2022

Made by the WHOA under clause 7.1.2, read with clause 59 and 59A of the
WHOA Constitution Version 7 – 24 November 2022

This version of the WHOA Architectural Directives and Design Guidelines replaces all previous versions.

Revisions are recorded in the Schedule of Revisions at the end of this document.

This document consists of 59 pages in total, excluding Annexure A, B, B1 - 5 and C.

CONTENTS

| | | |
|-------|---|----------|
| 1.0 | Introduction..... | 4 |
| 1.0A | Definitions | 4 |
| 1.1 | General | 4 |
| 1.2 | Building Plans..... | 4 |
| 1.2A | Sketch Plans | 5 |
| 1.3 | Review Architect..... | 5 |
| 1.4 | Disagreement or Dispute concerning Interpretation..... | 5 |
| 1.5 | Relaxation of, Deviation from, Architectural Directives and Design Guidelines | 5 |
| 2.0 | General Control Measures | 6 |
| 2.1 | Preparation of Building Plans | 6 |
| 2.2 | Restrictions | 6 |
| 3.0 | Building Plan Approval Procedure | 7 |
| 3.1 | Format of Building Plans | 7 |
| 3.2 | Processing of Building Plans | 7 |
| 3.3 | Submission to Stellenbosch Municipality | 7 |
| 3.4 | Omitted | 8 |
| 3.5 | Prior to Commencement of Building Work | 8 |
| 3.6 | Deviation of, or Variation from, Approved Building Plans | 8 |
| 4.0 | Control of Building Work..... | 8 |
| 5.0 | Architectural Style and Elements | 8 |
| 5.1 | Building Form..... | 10 |
| 5.1.1 | Core Building | 11 |
| 5.1.2 | Abutments | 11 |
| 5.2 | Building Platform | 12 |
| 5.2.1 | Slopes | 12 |
| 5.2.2 | Directives for Buildings on Slopes..... | 12 |
| 5.2.3 | Retaining Structures..... | 13 |
| 5.3 | Roofs | 13 |
| 5.3.1 | General | 13 |
| 5.3.2 | Roof Finishes..... | 14 |
| 5.3.3 | Fascias and Bargeboards..... | 15 |
| 5.3.4 | Gutters and Rainwater Downpipes..... | 15 |
| 5.4 | External Masonry Wall Finishes | 16 |
| 5.4.1 | Exterior Wall Colour Selection..... | 16 |
| 5.5 | Windows, Doors and Shutters..... | 17 |
| 5.5.1 | Exterior Colours for Windows, Doors and Shutters..... | 19 |
| 5.6 | External Window Sills | 20 |
| 5.7 | Garages and Carports..... | 20 |
| 5.8 | Verandas, Pergolas, Columns, Corner Brackets, Balconies and Balustrades..... | 21 |
| 5.8.1 | Verandas, Pergolas and Columns | 21 |
| 5.8.2 | Corner Brackets..... | 22 |
| 5.8.3 | Balconies | 23 |
| 5.8.4 | Balustrading..... | 24 |
| 5.9 | Linking Elements | 24 |

| | | |
|--------|--|-----------|
| 5.10 | Boundary Walls and Gates | 25 |
| 5.10.1 | Boundary Walls..... | 25 |
| 5.10.2 | Gates | 26 |
| 5.11 | Hard Landscaping – Paving and Driveways..... | 26 |
| 5.11A | Conversion of Garages..... | 27 |
| 5.12 | Soft Landscaping – Planting | 27 |
| 5.12.1 | General | 27 |
| 5.12.2 | Irrigation | 27 |
| 5.12.3 | Compost, Fertilisers, Herbicides and Pesticides | 28 |
| 5.12.4 | Maintenance..... | 28 |
| 5.13 | Service Facilities / Aerials / Satellite Dishes / Pipes and Cables | 28 |
| 5.14 | Miscellaneous and General | 29 |
| 5.15 | Privacy and Noise..... | 31 |
| 5.15.1 | Visual Privacy | 31 |
| 5.15.2 | Noise..... | 31 |
| 6.0 | Planning Guidelines | 31 |
| 6.1 | Zoning..... | 31 |
| 6.2 | Building Lines | 31 |
| 6.2.1 | Group Housing (excluding Town Housing) | 31 |
| 6.2.2 | Other Categories of Zoning | 32 |
| 6.3 | Building Height Restriction | 33 |
| 6.3.1 | Group Housing (including Town Housing) | 33 |
| 6.3.2 | Other Categories of Zoning | 33 |
| 6.3.3 | Definition of “Storey”..... | 33 |
| 6.4 | Coverage | 33 |
| 6.4.1 | Group Housing (including Town Housing) | 33 |
| 6.4.2 | Other Categories of Zoning | 34 |
| 7.0 | Project 12 – Specific Guidelines for Erven Adjacent to Weltevreden Farm | 34 |
| 8.0 | Small Holdings | 34 |
| 9.0 | Future Alterations and Additions | 34 |
| | Schedule of Revisions | 35 |

1.0 INTRODUCTION

1.0A DEFINITIONS

In the interpretation of this Architectural Directives and Design Guidelines, unless the context otherwise indicates –

- 1.0A.1 “Building plan” means design drawings and specifications that need to be submitted for the approval of any building work on the Welgevonden Estate as defined in clause 70 of the Welgevonden Home Owners’ Association (WHOA) Constitution¹.
- 1.0A.2 “Excom” means the executive committee of the Association contemplated in clause 8 of the WHOA Constitution².
- 1.0A.3 “Prescribed fee as per Control Measures” refers to the approved fee determined from time to time by Excom under the WHOA Constitution, more specific clause 7.1.2³.
- 1.0A.4 “Review Architect” refers to a service provider appointed by the WHOA in terms of its powers under the WHOA Constitution to, on its behalf, process building plans for aesthetic approval in compliance with the applicable architectural directives and design guidelines.
- 1.0A.5 “Welgevonden Estate Office” refers to the administration office of the WHOA residing at the Main Entrance, R44 Gate, Welgevonden Estate.
- 1.0A.6 “WHOA” means the Welgevonden Home Owners’ Association established under Section 29 of the *Land Use Planning Ordinance (LUPO), 1985 (No 15 of 1985)*, now governed in terms of *Stellenbosch Municipality Land Use Planning Bylaw, 2015, Section 15(2)(I)*.

1.1 General

The Welgevonden Home Owners' Association [the WHOA] established in terms of section 29 of the *Land Use Planning Ordinance, No 15 of 1985, now governed in terms of Stellenbosch Municipality Land Use Planning Bylaw, 2015, Section 15(2)(I)* has in terms of the WHOA Constitution made as part of its conduct rules the architectural directives and design guidelines for Welgevonden Estate set out below.

The purpose of the architectural directives and design guidelines is to provide a framework within which individual properties can be designed, constructed and altered in order to promote a unique and collective architectural identity.

The objective is to create a development with a harmonious architectural aesthetic, characterised by a range of colours and details that is in harmony with, and complement, the local vernacular of Stellenbosch.

In order to achieve these objectives, the architectural directives and design guidelines are binding upon all erven in Welgevonden Estate.

1.2 Building Plans

The WHOA Constitution requires an owner to submit building plans for work on her/his erf to Excom for examination and approval prior to the submission of such

¹ See Clause 70 WHOA Constitution – Submission of Building Plans

² See Clause 8 WHOA Constitution – Constitution and Function of Excom

³ See Clause 7.1.2 WHOA Constitution – Powers of Association

plans to the Stellenbosch Municipality for approval. The aim of this examination is to ensure that the architectural directives and design guidelines for Welgevonden Estate are complied with.

Building plans need to be submitted for the construction of a new dwelling, or for additions to, or the alteration or renovation affecting the exterior aesthetic appearance of, an existing dwelling, or for the erection of a pergola, fence, boundary wall, retaining wall, or the laying of paving.

1.2A Sketch Plans

For minor alterations that do not require building plans for municipal approval, Excom may in its discretion accept sketch plans. It will be the responsibility of the Review Architect to confirm with Stellenbosch Municipality if approval will be required. Should such sketch plans in the discretion of Excom not contain sufficient information for it to take a decision on the proposed alterations, it may require the owner to provide more information, including complete building plans.

The approval procedure, general control measures, and directives and guidelines applicable to building plans also apply to sketch plans, with the necessary changes.

1.3 Review Architect

Excom has in terms of its powers under the WHOA Constitution appointed a service provider [the Review Architect] on its behalf to process building plans for aesthetic approval in compliance with the applicable architectural directives and design guidelines.

The Review Architect must examine the building plans for aesthetic approval and to this end may interpret the architectural directives and design guidelines. If in the Review Architect's opinion a relaxation of, or a deviation from, a particular architectural directive or design guideline requested by an owner is warranted or not warranted, a motivated recommendation to that effect must be made in writing by the owner or her/his agent to Excom. Should the Review Architect not approve the building plans, the owner concerned must be furnished with reasons for the decision in writing.⁴

Once the Review Architect is satisfied that the building plans comply with the architectural directives and design guidelines, same must be forwarded to the Welgevonden Estate Office under cover of a letter indicating aesthetic approval.

If a particular architectural directive or design guideline is unclear, the Review Architect may make a motivated recommendation in writing to Excom on an appropriate interpretation thereof that will allow of its fair and uniform application.⁵

1.4 Disagreement or Dispute concerning Interpretation

Any disagreement or dispute concerning the interpretation of the architectural directives and design guidelines must be dealt with in terms of the dispute resolution procedure provided for in the WHOA Constitution.

1.5 Relaxation of, Deviation from, Architectural Directives and Design Guidelines

The WHOA Constitution empowers Excom on good cause shown in a particular

⁴ See Par 1.4 (Disagreement ...)

⁵ See Par 1.5 (Relaxation of ...)

instance to relax, or deviate from, an architectural directive or design guideline if in its sole discretion special circumstances warrant such relaxation or deviation.

If in Excom's discretion relaxation or deviation is warranted and accordingly will be allowed, it must indicate this in a letter addressed to the Stellenbosch Municipality, which letter must accompany the signed as approved building plans submitted to the Municipality by the owner.

In terms of clause 61A.3 of the WHOA Constitution any relaxation or deviation allowed by Excom must be reported to owners at the next ensuing annual general meeting of the WHOA.

The WHOA Constitution further provides that such relaxation or deviation does not constitute an amendment or repeal of the directive or guideline concerned as any universal changes to the directives and guidelines may be effected only by owners in general meeting.

2.0 GENERAL CONTROL MEASURES

2.1 Preparation of Building Plans

1) The design of all structures and the preparation and submission of building plans may only be undertaken by professional Architects registered with the South African Council for the Architectural Profession (SACAP). The registration must be current and valid at the time of the submissions. Building plans of inferior design or submitted by unregistered Professionals, will be rejected.

1A) Sketch plans must be prepared by a registered professional to scale and no hand sketches will be accepted.

2) Building plans and design drawings must –

a) be prepared in accordance with the architectural directives and design guidelines for Welgevonden Estate; and

b) comply with the municipal and national building regulations (SABS 0400) and any other applicable legislation.

2.2 Restrictions

1) The restrictions that may apply to Welgevonden Estate are in addition to any restrictions imposed in terms of the conditions of title to any erf or town-planning scheme or national or other building regulations.

2) Compliance with these architectural directives and design guidelines and approval of building plans by the Review Architect does not absolve the owner from complying with, and may not be construed as permitting, any contravention of –

a) the conditions of title to any erf; or

b) any restrictions imposed by the Stellenbosch Municipality or any other competent authority; or

c) any applicable zoning, by-law or regulation of the Stellenbosch Municipality or any other competent authority.

3.0 BUILDING PLAN APPROVAL PROCEDURE

3.1 Format of Building Plans

- 1) **Omitted**
- 2) An electronic copy of the building plan must be submitted in PDF format via e-mail to the Welgevonden Estate Office.
- 3) Approved submissions will be electronically stamped by the Estate Manager / the Welgevonden Estate Office once aesthetically approved. The Welgevonden Estate Office will issue a Letter of Approval to accompany submission to the Stellenbosch Municipality.

3.2 Processing of Building Plans

- 1) Building plans will be processed only upon payment of the applicable building plan examination and approval fee determined from time to time by Excom under the WHOA Constitution.
 - 1A) The Welgevonden Estate Office will issue an invoice for the applicable plan examination and approval fee to the owner. No review of the submitted plans will take place unless payment is received.
 - 2) Omitted
 - 3) Omitted
 - 4) If the Review Architect is satisfied that the building plans comply with the architectural directives and design guidelines, same must be forwarded to the Welgevonden Estate Office under cover of a letter indicating that the plans are aesthetically approved.
 - 4A) Upon receipt of the building plans and covering letter from the Review Architect, the Estate Manager / Welgevonden Estate Office must on behalf of Excom stamp and sign the building plans as approved, and e-mail it to the owner, informing her/him that the plans may be submitted to the Stellenbosch Municipality.
 - 5) Notwithstanding that the building plans may comply with all applicable restrictions, zoning, regulations and by-laws of the Stellenbosch Municipality and any other competent authority, the Review Architect, after consultation with Excom, as deemed necessary, may withhold aesthetic approval if the plans do not comply with the prescribed architectural directives and design guidelines: Provided that the approval of such plans shall not unreasonably be withheld.⁶

3.3 Submission to Stellenbosch Municipality

- 1) Only after confirmation of aesthetic approval has been obtained may the building plans be submitted to the Stellenbosch Municipality for its approval.
 - 1A) Building plans submitted to the Stellenbosch Municipality must be accompanied by the letter indicating Excom's willingness to allow any relaxation or deviation proposed, if applicable.
 - 2) The final approval of all building plans ultimately vests in the Stellenbosch Municipality.
 - 3) An electronic copy of the approved submission drawings must be submitted

⁶ See Par 1.4 (Disagreement ...)

together with the approval letter from the Stellenbosch Municipality to the Welgevonden Estate Office.

- 4) Any proposed deviation from the approved submission will require updated drawings to be submitted for approval by the Review Architect and the Stellenbosch Municipality prior to construction or implementation on site.
- 5) The deviation or variation may be implemented on site only if approved in writing by the Review Architect.

3.4 Omitted – instruction relocated to the “*Control Measures to Regulate the Performance of Services and Building Work*”.⁷

3.5 Prior to Commencement of Building Work

- 1) Building work may not commence before payment of the applicable building deposit determined from time to time by Excom under the WHOA Constitution.
- 2) **Omitted** – instruction relocated to the “*Control Measures to Regulate the Performance of Services and Building Work*”⁸

3.6 Deviation of, or Variation from, Approved Building Plans

Rectification of any exterior elements, colours and materials not complying with the architectural directives and design guidelines and implemented on site without the **prior** written approval by the Review Architect and/or the Estate Manager, as applicable, will be for the account of the contractor and/or owner concerned.

4.0 CONTROL OF BUILDING WORK

- a) It is the responsibility of the owner to ensure that the building contractor appointed by her/him is made aware of, and abides by, the provisions of the *Control Measures to Regulate the Performance of Services and Building Work in Welgevonden Estate*.
- b) No deviations from, or variations of, the aesthetically approved plans and finishes, or from any of the items approved by the Review Architect, may be implemented on site without the **prior** written approval of the Review Architect, electronically signed and stamped by the Estate Manager, as applicable, or, if required, the Stellenbosch Municipality.

5.0 ARCHITECTURAL STYLE AND ELEMENTS

In order to achieve the objectives as described in the introduction to these architectural directives and design guidelines, designs derived from regional Cape architecture that are in harmony with, and complement, the local vernacular of Stellenbosch are preferred. However, regional Cape architecture i.e. "Cape Dutch", "Cape Victorian" or "Cape dorps huis architecture" in its pure traditional form is not suitable as it is proposed that a style of architecture unique to Welgevonden Estate in which traditional Cape proportions, architectural elements and colours feature, be promoted.

⁷ See Clause 59A, WHOA Constitution

⁸ See Clause 59A, WHOA Constitution

Exclusions:

Cape Dutch, Victorian or Georgian replicas.

Mediterranean / Spanish Style Architecture.

Post Modern Elements.

Preferential use of horizontal proportions as prevalent in Modern Architecture.

Please note that the list of exclusions is not exhaustive and should there be any matters not covered in these architectural directives and design guidelines, and in the event of any difference in the interpretation of these architectural directives and design guidelines, the decision of Excom will be final and binding, subject to any dispute being decided in the favour of the applicant.

The following sketches (refer to Figures 1 – 4 below) are illustrative of the "Welgevonden Architectural Language" and "spirit of place" promoted in the Welgevonden Development.



Figure 1: Illustration of homogenous architectural language, landscaping elements and typical courtyard formed by linking buildings together to achieve edge continuity. The urban design principle of integrated bridging is illustrated by the “poort” over the road that links buildings and defines the street edge.



Figure 2: Welgevonden Architectural Language illustrating “spirit of place”



Figure 3: Illustration of typical courtyard and homogenous building and landscaping elements



Figure 4: Illustration of typical street elevation illustrating edge continuity with pedestrian "poort" used as linking element

5.1 BUILDING FORM

Building form consists of the main building structure, which is referred to as the **core building**.

Secondary building structures are referred to as **abutments** to the **core building**.

5.1.1 CORE BUILDING

- a) The **core building** must conform to the traditional "letter of the alphabet" building form. In this particular typology, the plan form of the **core building** resembles the letters **I, T, L, H, U** or variations thereof. The latter constitutes the main body of the buildings on an erf (refer to **Figure 5.1**).
- b) **Core buildings** must be roofed with a double-pitched roof.
- c) Rectangular sections of the **core building must** be built perpendicular to each other. **No** variation on this condition will be considered.

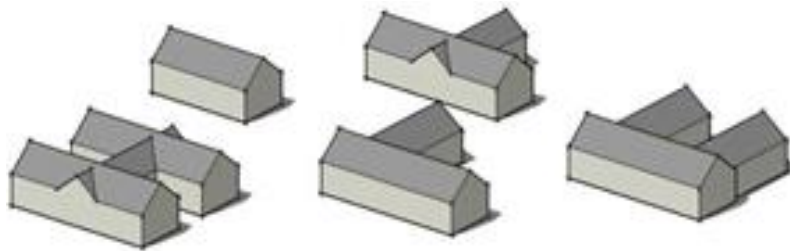


Figure 5.1: Letter of the alphabet type buildings

5.1.2 ABUTMENTS

- a) An **abutment** (secondary building linking to a **core building**) must be rectangular in shape, and linked perpendicular to a **core building** structure, below the wall plate height of such **core building**, in order not to affect in any way the roof and shape of the **core building**. The **abutment** may further be no more than two thirds of the width of the **core building** it links to, nor longer than two thirds of the length of that **core building**. – *Except where the **abutment** is a garage or carport (where the increased length or width will be considered and interpreted by the Review Architect) – (refer to **Figure 5.2**)*
- b) Any face of such **abutment** may further not end flush with any face of the **core building** shape, and **must** be set back or proud of the **core building** face by at least 230 mm – *Except where this face is on a **shared 0m** building line – (refer to **Figure 5.2**)*
- c) The **abutment** must have a "flat" roof (concrete or approved sheeting to fall), which **must** be hidden from all sides behind a parapet wall.
- d) No "stepped" **abutments** will be allowed, only simple rectangular shapes.
- e) Double storey **abutments** will be limited to **5%** of the **erf** area.

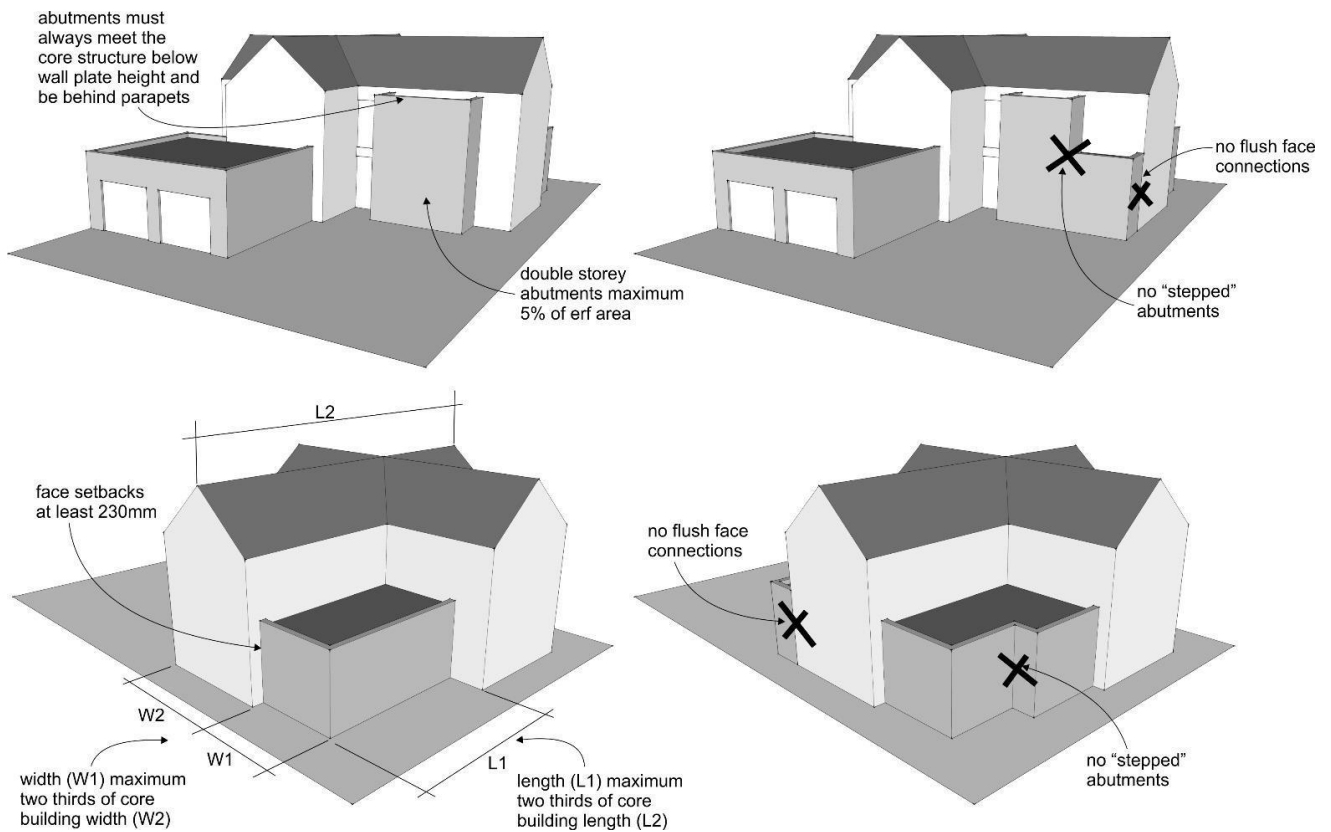


Figure 5.2: Abutment relation to core buildings

5.2 BUILDING PLATFORM

5.2.1 Slopes

Buildings on slopes must be designed in response to the slope of the site with stepped levels or stepped building platforms as illustrated in **Figures 6** and **7** below.

5.2.2 Directives for Buildings on Slopes

The following provisions must be applied to buildings which are situated on slopes:

- The height of ground fill at any point on the site may not be higher than 1.2 m, measured from the natural ground level at that particular point of the site.
- The part of the building that is at the highest part of the site, may not cut deeper into the site than 1.2 m, measured from the natural ground level at that particular point of the site.
- Should a building plinth be used, this structure may not exceed 1.2 m in height.

5.2.3 Retaining Structures

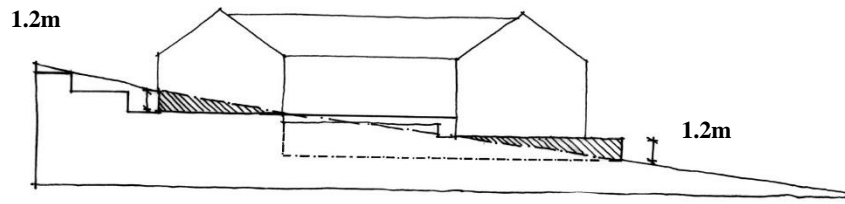


Figure 6: Section illustrating building with stepped ground floor level

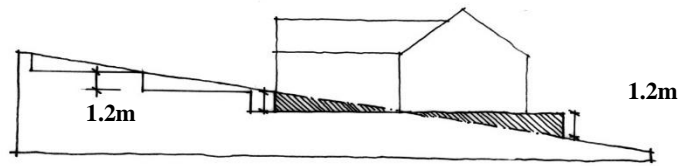


Figure 7: Section through slope illustrating limits to cut and fill

- a) All retaining structures must be solidly built walls.
- b) Vertical retaining structures on all boundaries must be plastered and painted brickwork or concrete blocks.
- c) **No** stone masonry walls may be used for retaining structures.
- d) Stacked retaining systems such as "*Terraforce*" or similar approved systems already used in the Welgevonden Estate is not encouraged, however, where these systems are used the blocks must always be planted in order to blend into the landscape.

5.3 ROOFS

5.3.1 General

- a) Simple double pitched roofs with or without gable end walls on the **core building** and outbuildings are prescribed.

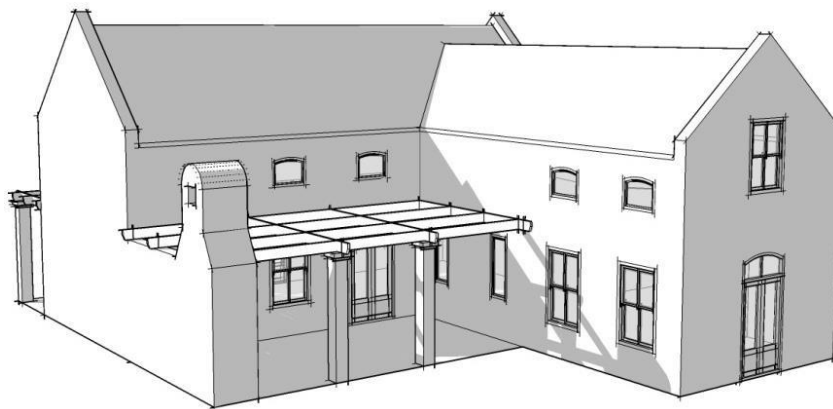


Figure 8: Core building with double pitched roof and gable end walls

- b) When gable end walls on the **core building** and outbuildings are used, the following directives apply:
- i) It is recommended that these elements be kept simple and without any elaborate decoration, however, plain/simple plaster copings over the top of these walls are permissible; and
 - ii) the line of the gable wall must **always** follow the pitch of the roof line except for example on the garage and/or carport where horizontal parapet walls may be used.
- c) Flat/mono pitched roofs are allowed for **abutments** as well as for garages and/or carports **only** and **must** be enclosed with a horizontal parapet wall concealing the roof on all four sides (as applicable) in order for roofing material not to be visible. The roofing material used for these roofs must match the **core building** in colour and material specification⁹.
- d) Roof pitch to the **core building** may not be less than 30 degrees or more than 45 degrees. The angle selected for the **core building** may not be asymmetrical, i.e. the pitch on one side of the roof taken at, for example, 40 degrees and the pitch on the opposite side taken at say 45 degrees. The preferred roof pitch for the Welgevonden Development is 40 degrees. Gable ends must always be symmetrical. No variation on this rule will be allowed.
- e) Lean-to roofs will **only** be allowed for verandas clipped onto the **core building** and must always have a roof pitch of 5 degrees – *unless this lean-to is treated as an **abutment** and complies with the rules pertaining to abutments* (Refer to Par 5.1.2 – **Abutments**).
- f) Bay window roofs may not have a pitch of less than 45 degrees.
- g) Clipped eaves with fascias are preferred.
- h) Where **core buildings** are joined together on 0 (zero) m common boundaries (which is only allowed where shown on the approved site development plan), it is preferred and recommended that the angle of the roof of the **core building** be kept the same as the **core building** on the adjoining erf or erven.

Exclusions:

*Flat and mono-pitched flat roofs on any **core building** structure and/or outbuildings.*

Double pitched asymmetrical roofs.

Curved and decorative parapets and/or gable walls.

Hipped roofs.

A-frames and Mansard roofs.

5.3.2 Roof Finishes

The following roofing materials and colours may be used on the **core building** and outbuildings:

- a) Corrugated S-profile metal roof sheeting with pre-painted *Chromadek/Colomet* finish or similar.

⁹ See Par 5.4.1

- b) "Victorian S-Profile roof sheeting, Klip-Lok, or similar concealed fixed roof sheeting".

Roof sheeting colours: Only *Chromadek/Colomet* colour Dove Grey, Dark Dolphin and Charcoal may be used.

- c) Omitted – Use of shade cloth on carports. Second sentence relocated to (e) and (f) respectively.
- d) Bluegum laths ("Bloekomlatte") and "Spaanse Riet" may be used on carports. However, said materials may not be visible when viewed from the side elevation and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation.
- e) "Eclipse" or similar approved openable aluminium louvre blade roofs may be used on stoeps with the condition that the roof is screened behind horizontal beams or fascias in order not to be visible from any side elevation. The louvre frame and louvre blades must be white, alternatively powder-coated Dove Gray, Dark Dolphin or Charcoal to match the main roof.
- f) Polycarbonate sheeting may be used as a cover on roofs over patios. However, said materials may not be visible when viewed from below and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation. The sheeting must also be visually concealed from below using timber slats with no gap wider than 25 mm between.

Note: Areas that are covered with louvre blade roofs will not be classified as covered stoeps and the coverage will be calculated as set out under Par 6.4 — **Coverage**, below.

Exclusions:

No shade cloth may be used on the *core building* or any one of the outbuildings.

No use of shade cloth in a vertical application to serve as a screen is allowed.

No Perspex and/or fibreglass may be used.

5.3.3 Fascias and Bargeboards

- a) "Everite" plain fibre cement fascia and bargeboard, size 225 x 15 mm, 150 x 15 mm or similar, painted, or
- b) Timber hardwood fascia and bargeboard, size planed all round, 22 or 32 x 220 mm, painted.

Colour: White or Chromadek colours Dark Dolphin, Dove Grey or Charcoal to match the roof sheeting.

Exclusions:

"Everite" Victorian profile fibre cement fascias and bargeboards.

5.3.4 Gutters and Rainwater Downpipes

- a) Seamless "Watertite" aluminium or similar, standard domestic Ogee gutters, with rectangular fluted downpipes, all to be pre-painted, or
- b) "Marley Streamline" or similar square-profile PVC gutters with square downpipes.

Colour: White or Chromadek colours Dove Grey, Charcoal or Dark Dolphin to match the roof sheeting or painted to match the **core building** colour.

5.4 EXTERNAL MASONRY WALL FINISHES

Painted plaster, with a choice of the following may be used:

- a) Building abutments, garden walls and plinths may be accentuated and plaster bands around doors and windows may be used. Accent colours as per the colour schedule below, are encouraged for these elements.
- b) Only smooth plaster may be used on the exterior face of the building; however, stipple plaster will be permitted to be used in a limited application to accentuate building plinth(s).
- c) Thickened walls as used in historical houses are encouraged.
- d) Boundary walls must always be finished with smooth plaster and coping details as described under Par 5.10 — **Boundary Walls and Gates** below.
- e) Natural and/or imitation stone cladding may **only** be used on chimneys and building plinths. The extent, pattern and colour of the cladding to be used must be submitted to the Review Architect for pre-approval.

Exclusions:

No Face Brick.

Stipple plaster limited to be used on building plinths and chimneys only.

No colour pigmented and cement based plaster paint finishes permitted.

*Bagged and painted brickwork as an exterior wall finish is **not** allowed.*

5.4.1 Exterior Wall Colour Selection

All new and existing structures in Welgevonden Estate **must** be painted/repainted in accordance with the approved colour scheme recorded below:

- a) Colour "**Pockets**" for exterior walls are prescribed and have been selected from the "*Plascon Expressions*" colour range (refer to list included in Par (e) below).

Note: Paint from alternative paint suppliers/manufacturers may be used **but** the colour **must** be mixed to match the prescribed colour **exactly** and be presented for final approval to the Estate Manager prior to application on site.

- b) White may be used as a wall colour, alone **or** in combination with any of the approved exterior wall colour "**pockets**" as defined in Par (c) below.

- c) **Colour Pocket System:**

Each colour pocket consists of 4 colour specs (white + 3 shades in the particular pocket range).

How to apply the pocket system when considering external paint colours to your house:

- (1) Select one of the 6 approved colour pockets.
- (2) From the colour pocket you have selected, select the primary colour. This will be the colour all **core buildings** must be painted with – this may be any of the 3 (three) lighter colours, but may not be the darkest in the pocket.
- (3) From the same colour pocket, select your accent colour. This will be the colour used for your **abutments**, garden walls, etc. – this colour must be the same as, or darker than, the colour selected as the primary colour, but may not be lighter.

- (4) Plaster bands may be any of the 4 colours in the selected pocket, as long as they are not more than one shade up or down from the selected wall colour, and all plaster bands must be the same colour.
- d) Colour swatches of all exterior colours to be used must be submitted to the Estate Manager for provisional approval **prior** to the approved building plans being submitted to the Stellenbosch Municipality, and final approval will be given by the Estate Manager only once the building is under construction and 1,0 m² of each colour to be used has been painted on a wall for final approval on site.
- e) **Colour Pocket Scheme for Exterior Walls - 2015:**

| COLOURS SELECTED FROM PLASCON COLOUR RANGE | | | | | |
|--|-------------------------------|-------------------------------|----------------------|----------------------------|----------------------------|
| COLOUR POCKET 1 | COLOUR POCKET 2 | COLOUR POCKET 3 | COLOUR POCKET 4 | COLOUR POCKET 5 | COLOUR POCKET 6 |
| White | White | White | White | White | White |
| Landing 67 | Salt Pebble 4 | Ivory Parchment Y3-D2-3 | Frothy Milk 7 | Happy Ending Y5-B2-3 | Mandarin Tusk GE-Y04 |
| Statued 23 | Bleached Baobab Y2-C2-2 | Ivory Ridge Y3-D2-2 | Veldrift Y2-D2-3 | Cream of Mushroom 32 | Amazon Mist Y5-E2-3 |
| Sombrero 24 | Stuffing 36 | Beach Wood Y3-D2-1 | Stonewash Y2-D2-2 | Escarpment 34 | Castle Stone Y5-E2-2 |

Note: The colours selected may from time to time change or be discontinued by the manufacturer. As it is not possible to update the above list with each and every such change or discontinuation, owners / building contractors **must** check with the Estate Manager before commencing with paint work.

5.5 WINDOWS, DOORS AND SHUTTERS

- a) Windows should have a rectangular vertical proportion. Horizontally proportioned feature windows may in some instances be permitted subject to the approval of the Review Architect.
- b) Mock **or** Vertical Sliding Sash type hardwood timber windows as per "*Swartland Timber*" or similar approved are preferred, however, vertically proportioned side hung casement windows are also permitted.
- c) Aluminium type windows and doors will only be considered if the windows and doors are epoxy powder coated as per the colour outline included under Par 5.5.1 below and proportions are as specified under Par 5.5 (a) above.
- d) Only "working" hardwood timber and aluminium shutters will be allowed, provided that the colour of the shutters must match that of the window frame over which they close.

- dA) uPVC type windows, doors and shutters will only be considered if the windows, doors and shutters are as per the colour outline included under Par 5.5.1 below, the proportions are as specified under Par 5.5 (a) above, and if they comply with the provisions of Par 5.5 (d) above.
- dB) Material used for doors, windows and shutters must be the same throughout and may **not** be mixed.
- e) For roof space / loft areas, the following window types for dormers are allowed:
- i) "Tony Sandal" / "Velux" or similar tip-up type windows and/or small dormer type windows as per "Swartland Timber" catalogue numbers SV 43, SMS 1, SMS 2, SS1 and SS2, or similar, approved.
 - ii) The right of the adjacent owner(s) and views from adjacent residences will be considered when the plans are submitted for aesthetic approval.
- f) Sliding / folding / stacking doors will be permitted subject to the approval of the Review Architect.
- g) Guidelines for **Window Placement**: Windows should generally be:
- i) Taller on the ground floor than on the first floor;
 - ii) Kept on the same head height throughout the same storey, and any deviation will be to the discretion of the Review Architect;
 - iii) Of the same width in vertical succession, lined up above each other;
 - iv) Arranged in groupings of twos and threes to create a rhythmic pattern;
 - v) Used in families, sharing the same proportions;
 - vi) Not used to form an external corner of the building.
 - vii) Frameless glass doors may in some instances be permitted subject to the approval of the Review Architect.

Exclusions:

No "Winblok" or other precast concrete windows, glass blocks or leaded windows with coloured glass patterns allowed.

No Natural or Bronze Anodised Aluminium allowed.

No fake/mock shutters allowed.

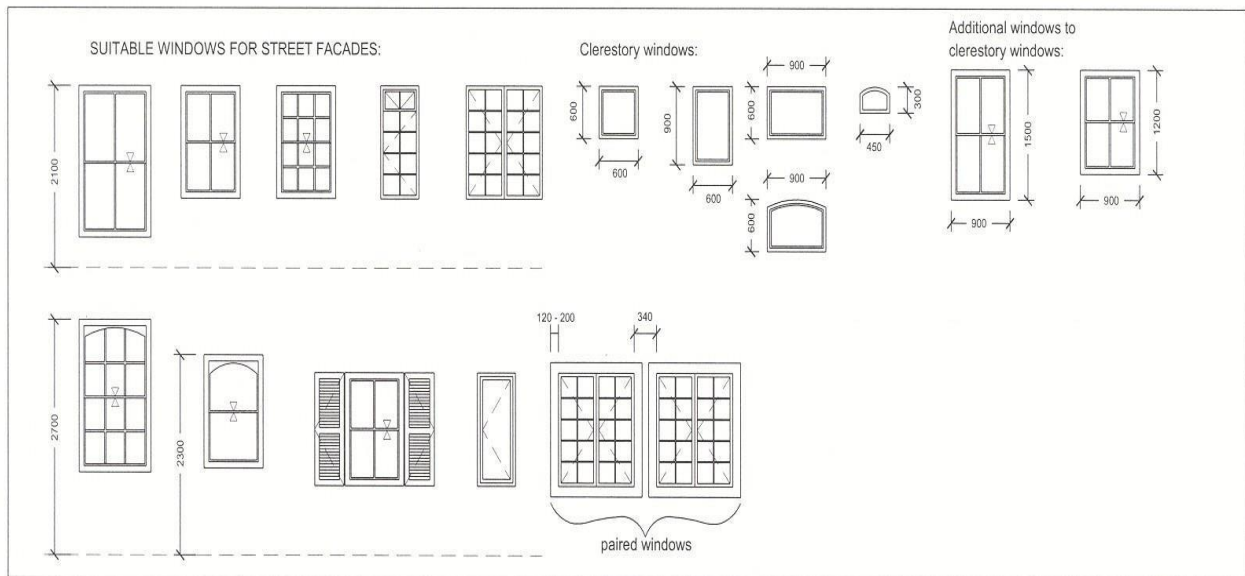


Figure 9: Suitable Window Types (Not exhaustive or all-inclusive)

5.5.1 Exterior Colours for Windows, Doors and Shutters

a) Timber windows, doors and shutters can be varnished **or** painted as per the colour outline below; aluminium windows, doors and shutters to be epoxy powder coated as per the colour outline below; uPVC windows, doors and shutters to be as per the colour outline below:

b) Varnish:

In addition to natural clear timber varnish colours the colour varnish Dark Oak as per "Crown Weatherglow" (or similar approved) colour Dark Oak (code CVA888) in suede finish may be used.

c) Aluminium:

Aluminium windows, doors and shutters may be in any of the following approved colours:

- White
- N.M. Bronze Matt
- Matt Traffic Grey
- Dark Umber Grey
- Matt Charcoal

cA) uPVC:

uPVC windows, doors and shutters may be in any of the following approved colours:

- White
- Matt Traffic Grey
- Dark Umber Grey
- Matt Charcoal

d) Paint:**i) Windows, Doors and Shutters (except garage doors):**

Fixed outer frame to be finished in white **or** any one of the approved accent colours as listed below with opening door

leaf(s) and inner sliding or opening sashes to windows, including glazing bars to be finished in colours: **Only Pure White**, as well as colours matching approved aluminium, uPVC or roofing colours, are deemed to be **approved element colours** and may be used to accentuate elements as described here.



Figure 10: Vertically proportioned window with plastered window sill and simple plaster-band forming a flat arch above the window.

ii) Garage doors:

- Timber garage doors may be varnished **or** painted in any one of the approved element colours as referred to in Par 5.5.1 (d) (i) above, must be the same as the window frame colour, or painted white or varnished timber.
- Metal garage doors may only be epoxy powder coated to any of the approved aluminium colours in Par 5.5.1 (c) above, must be the same as the window frame colour, or white.
- uPVC garage doors may only be to any of the approved colours in Par 5.5.1 (cA) above, and must be the same as the window frame colour, or white.

iii) Shutters:

Finished in white **or** any one of the approved accent colours as listed under Par 5.5.1 (d) (i) above. The colour of the shutters must match that of the window frame over which they close.

5.6 EXTERNAL WINDOW SILLS

- a) All external window sills to be plastered to achieve a smooth steel trowel finish and painted.
- b) Simple articulated plaster bands around windows and doors are encouraged.
- c) All plaster bands to be finished in smooth plaster and painted in accordance with Par 5.4.1 (c) above.

5.7 GARAGES AND CARPORTS

- a) Each erf may have a **maximum** of two single garage doors or one double garage door facing the street, and parking space conforming to the dimensions as per SANS 10400 for a **minimum** of two cars must be provided on each Erf.

b) Omitted

- c) Garage doors may be hardwood timber tip-up or sectional overhead type with horizontal (HWB) or vertical (VWB) pattern. Timber garage doors with vertical pattern are prescribed and preferred; however, metal and uPVC garage doors may be permitted, provided that the **prior** written approval of the Review Architect has been obtained. **Only** "Coroma Coroflute" or similar approved sectional overhead metal garage doors with horizontal pattern, or similarly patterned uPVC garage doors, may be permitted.
- d) Approved colours for garage doors are included under Par 5.5.1 (d) (ii) above.
- e) Garage doors must always be set back from the street boundary to provide an additional parking space in front of the garage and be screened with a pergola or screen wall element that can also serve as a carport.



Figure 11: Garage doors screened from view by a coachman's entrance and timber pergola behind a horizontal parapet wall

- f) The design of a carport must fit in with the overall aesthetic and character of the **core building** and be submitted with the building plans to the Review Architect for aesthetic approval prior to construction.
- fA) The sides of a carport may **not** be closed off with any kind of screening such as Bluegum laths ("Bloekomlatte") and "Spaanse Riet", slats, mesh, shade cloth, canvas or similar, but must be left open.
- g) The growth of vines on pergolas in front of garages is encouraged.

Exclusions:

All patterned garage doors (e.g. raised and fielded panels, etc.) except horizontal and vertical patterns as specified above.

5.8 VERANDAS, PERGOLAS, COLUMNS, CORNER BRACKETS, BALCONIES AND BALUSTRADES

Verandas, pergolas, columns, corner brackets, balconies and balustrades must be designed, and materials selected, to be in keeping with the architecture of the main structure.

5.8.1 Verandas, Pergolas and Columns

- a) Verandas with lean-to roofs on the **core building** are preferred. These roofs must have a pitch of 5 degrees (**unless built hidden behind a parapet, and used as an abutment**). The roofing material used for these roofs **must** match the roof of the **core building** in colour and material specification, unless it is a concrete roof.

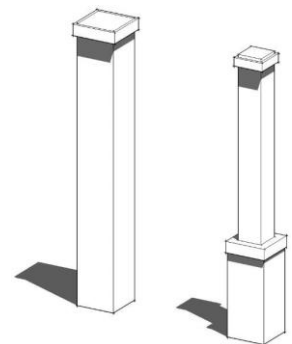


Figure 12:
Typical brick columns

- b) Verandas and pergolas may only be constructed from hardwood timber sections – aluminium sections proportioned to match standard timber sizes may in some instances be permitted, subject to the approval of the Review Architect. A mixture of timber and aluminium will not be allowed.
- c) Columns to verandas and pergolas can be:
 - i) Square hardwood timber posts, with corners fluted or not, painted or varnished, or
 - ii) 220 mm x 220 mm square brick columns, plastered and painted, or
 - iii) 220 mm x 220 mm square brick columns on 340 mm x 340 mm square brick bases, plastered and painted, or
 - iv) Aluminium square posts proportioned to standard timber sizes, subject to the approval of the Review Architect.
- d) The growth of vines on pergolas and verandas are encouraged.
- e) Bluegum laths ("Bloekomlatte") and "Spaanse Riet" may be used as ceilings on stoeps with the condition that the material may not be visible when viewed from the side elevation and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation.

Colour:

- i) Timber – varnished **or** painted in any one of the approved accent colours as listed under Par 5.5.1 (d) above. Bluegum laths ("Bloekomlatte") and "Spaanse Riet" may not be painted, but must be left natural or varnished in a natural clear varnish.
- ii) Plastered brick columns – painted to match the **core building**.
- iii) Aluminium – pre-painted in any one of the approved accent colours as listed under Par 5.5.1 (d) above.

Exclusions:

No Pergolas may be covered with shade cloth or roof sheeting of any kind.

No pergolas built over or outside of the building lines, will be allowed to be covered at any stage, as this becomes a building line encroachment. Such structures must remain uncovered pergolas outside of building lines – especially on the street building line.

No cover may be placed on pergola elements inside or outside of the building line, without first following the formal building plan application procedure.

No round timber pole structures of any kind allowed.

No metal columns or steel sections may be used.

5.8.2 Corner Brackets

The following directives apply to corner brackets:

- a) Hardwood timber corner brackets may only be used in conjunction with timber posts / columns.
- b) Timber corner brackets must be painted or varnished to match the timber posts / columns.

Colour:

Timber – varnished **or** painted in any one of the approved element colours as listed under Par 5.5.1 (d) above.

Exclusions: No wrought iron, steel, cast aluminium or decorative corner brackets may be used.

5.8.3 Balconies

- a) Small "French type" balconies with inward/outward opening doors are preferred.

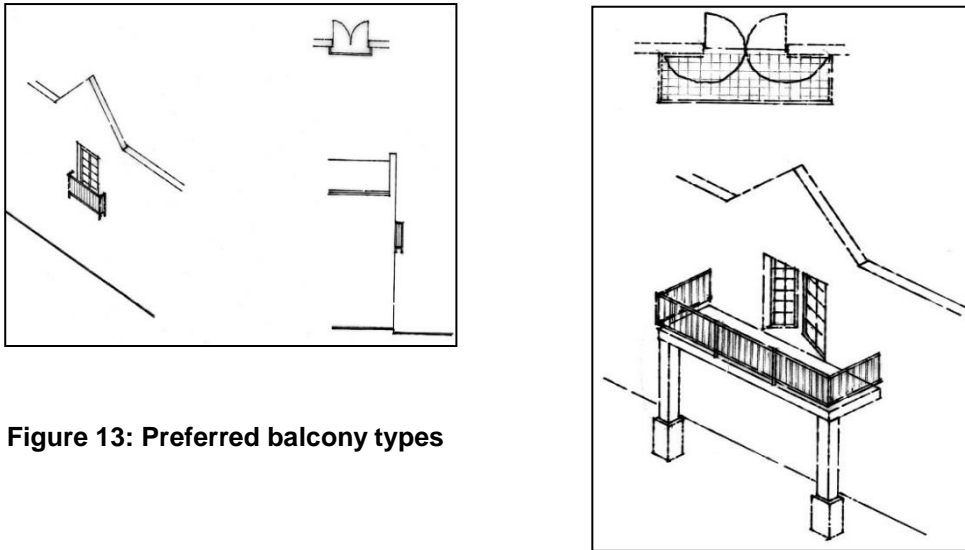


Figure 13: Preferred balcony types

- b) The following conditions are preferred:
- i) The balcony slab protruding 200 mm max. past the exterior face of the building with the handrail fixed inside the door reveal and the doors opening inward, or
 - ii) The slab protruding 1000 mm max. past the exterior face of the building with the handrail fixed on the side or top of the balcony slab, and the doors opening either inward or outward.
- c) Balconies must form an integral part of the design and the sides must be plastered and painted.
- d) Balconies on one of the side boundaries will only be considered if the **core building** is positioned 3,0 m from one of the two side boundaries and the balcony may only be positioned on the 1,5 m or greater building line side. Said balconies may **not** protrude over the 1,5 m building line.
- e) The following directives apply to all balconies: The right of the adjacent property owner(s) and views from adjacent residences must be considered when the plans are submitted for aesthetic approval.

Colour:

Plaster on vertical sides of balconies to match exterior wall colour selected for abutments/secondary elements.

5.8.4 Balustrading

The following directives apply to balustrading:

- a) **Only** hardwood timber balustrades, or
- b) Square mild steel tubing or flats may be used.
- c) Balustrade elements must be predominantly vertical.

Colour:

- i) Timber – varnished **or** painted in any one of the approved accent colours as recorded under Par 5.5.1 (d) above.
- ii) Steel – painted **or** epoxy powder coated in any one of the approved accent colours as recorded under Par 5.5.1 (d) above, or black.

Exclusions:

No wrought iron, cast aluminium, aluminium, stainless steel panelling or other solid sheet panelling or plastered and painted brickwork allowed.

No stainless steel cabling or "yacht" handrail details allowed.

No modern type handrails with balusters positioned horizontally allowed.

No handrails with predominantly horizontal members allowed.

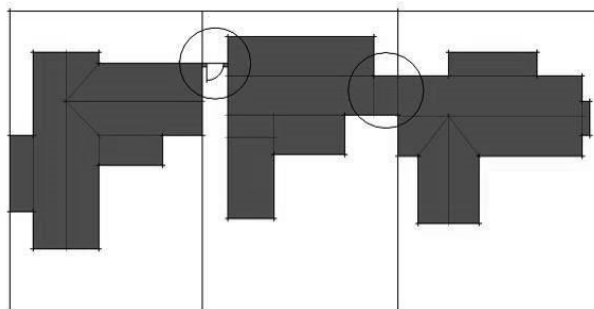
No excessive ornamentation and detailing allowed.

No solid wall balustrades allowed.

5.9 LINKING ELEMENTS

There are a number of ways to achieve edge continuity by linking facades of buildings, which to define the street edge. The following are examples of linking elements:

- a) Archways/"Poorte" – open or closed with stable doors.
- b) Walls with or without gate openings and/or doors.
- c) Building structures on shared boundary lines can be linked with various linking elements such as gateways or walls to create edge continuity in street facades.



- d) Planting, especially hedges.



Figure 14: Illustration of linking elements used to connect individual houses and create edge continuity

5.10 BOUNDARY WALLS AND GATES

5.10.1 Boundary Walls

The following directives apply to boundary walls:

- a) All boundary walls visible from the street must be plastered both sides and have the traditional inverted V coping plaster detail. **These walls must be painted in a colour as per Par 5.4.1 (c) above.**
- b) Shared boundary walls not visible from the street can be bagged and painted in **one of the approved "pocket" accent colours**. These walls can be simple masonry walls without a coping detail.
- c) Shared boundary walls may not exceed 1800 mm in height, measured from any one side of the erf boundary. It is required that side boundary walling forming part of the street domain, i.e. walling on side boundaries on the street side of the **core building** and garage be kept low at a max. height of 1200 mm to allow physical as well as visual interaction with the street.
- d) No garden walls on the street side will be allowed, except where screening is required for areas such as kitchen yards and private spaces (wall height max. 1800 mm, total length 30% of street boundary). Where low walling on the street side is required, the height of such wall is restricted to max. 1200 mm high to allow physical as well as visual interaction with the street that is essential to retain the quality and character of the Welgevonden Development.
- e) Walling along public open spaces or green areas may only be the approved open steel Palisade type fencing as used for the main security wall around the Welgevonden Development with matching steel Palisade gate(s) for access. Palisade fencing to be secured between 75 mm x 75 mm steel columns **or** 340 mm x 340 mm square brick columns (with traditional inverted V-shape coping detail) spaced at approximately 3 m – 5 m centres. The overall height of this wall may not exceed 1800 mm. Masonry plinth walls to boundary fence structures may not exceed $\frac{1}{4}$ of the total height of the structure.

Note: Sizes given above are only a guide. All walling to be designed in accordance with the National Building Regulations (SABS 0400) and checked and verified by an Engineer (where necessary).
- f) All Palisade fencing must be painted in **an approved element colour as described in Par 5.5.1 (d) above.**
- g) Any reference to the maximum height of a wall shall be taken as a measurement to the top of any coping forming part of the wall.

- h) To create privacy screening between properties boundary walls may in some instances be raised to a maximum height of 2400 mm using a galvanised mild steel frame clad on all sides with *Nutec Clad Boarding*. These screens must be painted to match the wall colour and is subject to the approval of the owners of the neighbouring property and the Review Architect. This screening will not be allowed on any walls visible from the streetscape.

Exclusions: No prefabricated walling systems, face brick, sheet material, wire mesh fencing, gum poles or barbed wire is permitted.

5.10.2 Gates

The following directives apply to gates:

- Either wrought-iron, steel or timber gates with a varnished or painted finish may be used.
- Gates may be incorporated in low or high walls in combination with or without an archway.
- Gates may never be higher than the adjoining wall.
- In cases where Palisade fencing is used the material used for the gate must match the fence in material and colour.



Figure 15: Suitable gates (Not exhaustive or all inclusive)

5.11 HARD LANDSCAPING – PAVING AND DRIVEWAYS

A wide variety of paving materials is available on the market. The selection below is based on a combination of aesthetic, practical and economic considerations.

Note: The landscaping materials chosen should enhance and complement the style and character of the **core building**.

- Brick paving, e.g. "Corobrick" or similar pavers in approved colours *Autumn* and *De Hoop*,
- Dark grey / charcoal colour Cobbles as per "Pavatile" or similar approved,
- "Bush Stone" with brick edging as per "Grinaker Precast" or similar approved,
- Natural stone chip paving blocks with cobble edging as per "Pavatile" or similar approved,
- "Boland or Constantia Straight Edge Pavers" as per "Smartstone" or similar approved,

- f) "Yorkstone Straight Edge Pavers and Garden Steps" as per "Revelstone" or similar approved, or
- g) A combination of the above.

Exclusions:

*Premix or concrete with brick paving or cobbled edging.
Chip and spray.*

*Grey concrete paving slabs.
Slasto / Crazy paving.*

Pebble paving.

All concrete paving – standard multi-blends and exposed aggregate.

5.11A CONVERSION OF GARAGES

Architectural drawings showing the proposed changes must be submitted to the Review Architect for approval prior to the conversion.

- a) The conversion should be designed as to complement the existing dwelling and the new room must form an integral part of the main dwelling. It may not be constructed as a self-contained unit or alternative entrance to the dwelling.
- b) The Garage door(s) may only be replaced by a window or windows and such windows must comply with the guidelines as stipulated in par 5.5.

Parking space conforming to the dimensions as per SANS 10400 for a **minimum** of two cars must be provided on the Erf. High-density living is reliant on on-site parking and the Manager or Review Architect may decline an application which affects the on-site parking detrimentally.

5.12 SOFT LANDSCAPING – PLANTING

5.12.1 General

- a) Indigenous plants are encouraged to be used to integrate private landscaping with the overall landscaping of the Estate.
- b) Owners are encouraged to use Buffalo or Kweek grass for lawn areas as these grass types are less invasive and less water demanding than Kikuyu grass.
- c) All plants brought to the site must be disease and pest free.
- d) No plants which have been declared Weeds and Alien Invader Plants in South Africa in terms of the Regulations issued under the *Conservation of Agricultural Resources Act, No 43 of 1983*, as amended, or that are under consideration to be included on the invader list, may be planted.

Note: For detailed information regarding the various lists, consult the homepage of the South African National Biodiversity Institute at <http://www.plantzafrica.com>.

- e) Palms, cactuses and conifers may **not** be planted.

5.12.2 Irrigation

- a) Should irrigation systems be installed, owners must design them in such a way that they do not cause staining to walls.

- b) Irrigation systems must be properly designed and utilised in a way that will maximize the efficient use of water. Indigenous vegetation does not need a lot of water once it is established and therefore, while owners may install private irrigation systems, the irrigation may only be used to a limited extent.

5.12.3 Compost, Fertilisers, Herbicides and Pesticides

The use of organic, slow release fertilizers and/or organic compost is recommended in private gardens. Care should be taken with over-fertilizing of private gardens, which will result in an increase in the availability of nutrients in the surrounding areas such as agricultural soils. Mulch should be used to conserve moisture and reduce weed growth.

5.12.4 Maintenance

- a) All private gardens are required to be kept in a tidy state at all times.
- b) Storm water is to be properly managed by the owner. In principle, the storm water should be managed in a manner that will prevent any form of erosion, pollution, or other detrimental impact.

5.13 SERVICE FACILITIES / AERIALS / SATELLITE DISHES / PIPES AND CABLES

- a) Gas cylinders, air conditioning units, refuse bins, dog kennels, compost piles and clothes lines must be screened within service / drying yards in order not to be visible from the street or neighbouring properties. Air conditioning condenser units must, if not located within a service yard, be installed low against exterior walls at ground level. These units must be entirely screened off and may not be visible from the street or public open spaces.

Exclusions: *No window mounted air-conditioning units are permitted.*

- b) The location of all television aerials or satellite dishes must as far as possible not be visible from the street or potentially in view of, or hazardous to, adjoining properties or residents and should preferentially be fixed below the main building eaves line. Colour of satellite dishes must be white composite or approved equivalent. All television aerials or satellite dishes must be maintained and kept in a good condition.
- c) All telephone and electrical cable reticulation on the property must be underground. No overhead masts or wires are permitted.
- d) Specific Requirements for erven 14902 to 14910; 14912; 14913; and 14915 to 14917 immediately adjacent to Welgevonden Boulevard:

As the back of these dwellings are facing Welgevonden Boulevard, one of the main entrance(s) into the Welgevonden Development, all services and pipes, such as sewer, vent and water pipes may **not** be visible and **must** be boxed into the wall.

- e) Solar thermal systems are permitted with the criteria that **only** the remote tank and evacuated tube type solar panel system may be used and the panel must be mounted in a position that will not reflect to neighbours. Any remote equipment and the solar tank must be located within the roof. The angle at which the panel is mounted must lie flush with the roof, and the frame and fittings to match the roof colour. Detail fitting arrangement and position of equipment must be shown on plan and elevation submitted to the Estate Manager for approval.

- f) Photovoltaic Panels (PV) will be allowed. The angle at which the panel is mounted must lie flush with the roof, and the frame and fittings must match the roof colour. Detail fitting arrangement and position of equipment must be shown on plan, and elevation submitted to the Review Architect for approval.
- g) Water storage tanks for the purpose of stormwater harvesting may be installed only at the back of the house in an enclosed back yard and may not be visible from the street or public open spaces. Stormwater pipes and downpipes must be treated discreetly. No tanks will be allowed on the street side of the property. Detail of tanks, positioning and equipment must be shown on plan and elevation submitted to the Review Architect for approval.

Exclusions: *Combined solar tank and panel system exposed on top of the roof are **not** permitted.*

5.14 MISCELLANEOUS AND GENERAL

a) **House numbers and letter boxes:**

- i) Maximum size of lettering to be used is max. 200 mm in height.
- ii) All lettering and numbering to be placed horizontally and in line, and to be understated. The size and location of all house numbers and letter boxes are subject to the final approval of the Estate Manager.
- iii) Preferred lettering style: Helvetica.
- iv) Colour for lettering: Only Black, Polished Steel or Brass lettering is allowed.

Exclusions:

No Ceramic, Italic, and Free form lettering allowed.

No house names allowed.

b) **Outside Lighting:**

All outside lighting must be sensitively positioned and not directed in such a way that it may have a negative impact on the immediate surroundings or potentially in view of, or hazardous to, adjoining properties, residents or passing traffic. It is recommended that all exterior lights be fitted with energy saving bulbs.

Exclusions: No floodlights permitted.

c) **Burglar Bars and Security Gates:**

- i) Must be internally mounted and purpose made to suit window proportions.
- ii) Burglar bars built into the window frame as by "Swartland Timber" or similar approved is preferential.
- iii) Members must always be hidden behind window mullions.
- iv) The aesthetic approval of all burglar bars and security gates are subject to the approval of the Estate Manager.

d) **Carports: No** temporary or prefabricated shade cloth structures are allowed.

e) **Chimneys:**

- i) Plastered and painted masonry chimneys are permitted in accordance with, or similar to, the chimneys illustrated in **Figure 16**. Masonry chimneys must be plastered and painted to match the colour of the **core building**.

- ii) Any exposed circular flue pipes will be allowed to the discretion of the Review Architect.

Exclusions: *No exposed fibre cement flue pipes.*

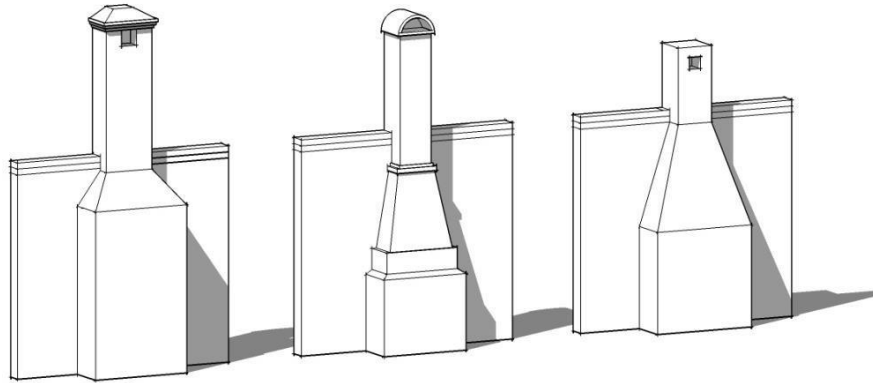


Figure 16: Typical chimney types

f) **Swimming Pools:**

- i) No "Porta Pools" or similar pools above ground level are permitted.
- ii) No swimming pools will be allowed over the street building line.
- iii) The position of the pool, pump and filter must be shown on plan, elevation and section submitted for approval.
- iv) The position of the pool pump and filter must be hidden from view from any public area or street.
- v) The position, colour and design of all swimming pools are subject to final approval by the Review Architect.

g) **Wendy Houses and Tool Sheds:**

Pre-approval and application for the erection of Wendy Houses and tool sheds is compulsory and must be obtained in writing from the Estate Manager in accordance with the rules and guidelines for the erection of said structures available from the Welgevonden Estate Office or Website.

h) **Awnings:**

Awnings are allowed if in a plain design without stripes and scallops and of a single colour matching the colour of the **core building**. Canvas awnings are preferred; however, aluminium awnings conforming to the design and colour directives for canvas awnings will be considered.

Plans for awnings showing the proposed design and colour must be submitted to the Estate Manager for approval **prior** to installation.

Exclusions: *No fibreglass awnings and canopies are allowed.*

i) **Vertical Screening:**

Retractable vertical screening on patios, verandas and stoeps is allowed if of a plain design without stripes, in white or of a single colour matching the colour of the **core building** – subject to approval by the Review Architect.

Plans for vertical screening showing the proposed design and colour must be

submitted to the Estate Manager for approval **prior** to installation.

5.15 PRIVACY AND NOISE

5.15.1 Visual Privacy

- a) It must be stressed that these architectural directives and design guidelines, Excom or the WHOA, or any of its employees or service providers, cannot guarantee visual or noise privacy.
- b) It is important that individual owners ensure that houses are designed in such a manner that they respect and take into account the need for private outdoor space / living of neighbouring owners, alternatively, written approval from the neighbours for privacy infringement must be obtained and submitted to the Review Architect.
- c) Each property owner must motivate and illustrate how the aforementioned objective will be met when building plans are submitted for aesthetic approval.

5.15.2 Noise

- a) While visual privacy can be attained by providing screen walls and locating windows and balconies in areas where privacy of the next-door neighbours are not compromised, noise is a potential problem that must be managed.
- b) Good neighbourliness requires noise levels to be kept low by individual households.
- c) Measures are required to regulate and reduce noise levels through technical and design intervention:
 - i) An effective way of reducing noise disturbance is to ensure that outside living spaces of houses are not located directly alongside one another, but that outdoor spaces are located where buildings separate individual outdoor living spaces.
 - ii) Additional noise screening devices can be utilized, such as planters, hedging, double walls, pergolas and garden seats along boundaries.
 - iii) The sound of falling water from water features located along boundary walls is an effective method of reducing noise from external sources.

6.0 PLANNING GUIDELINES

Note 1: Refer to the key plan included under Annexure A.

Note 2: For the procedure to be followed when Excom is willing to allow the proposed relaxation of any architectural directive or guideline specified in Par 6.0, see Par 1.3 — **Review Architect** and Par 3.3 — **Submission to Stellenbosch Municipality**.

6.1 ZONING

Zoning and development conditions are in accordance with the development plans and guidelines for Welgevonden Estate.

6.2 BUILDING LINES

6.2.1 Group Housing (excluding Town Housing)

- a) **Street building line** : 2,0 m from street boundary.

- b) **Garage building line** : 4,0 m from street boundary.
- c) **Rear building line for all erven EXCEPT erven in project 11, 11a and 12:** 1,5 m from rear boundary.
- d) **Rear building line for erven in project 11, 11a and 12:**

3,0 m from rear boundary with provision that building line may be relaxed to 1,5 m from rear boundary for maximum length of 40% of rear boundary length. A stepped building line encourages a more varied building footprint along rear boundaries, privacy and positive outdoor living spaces.

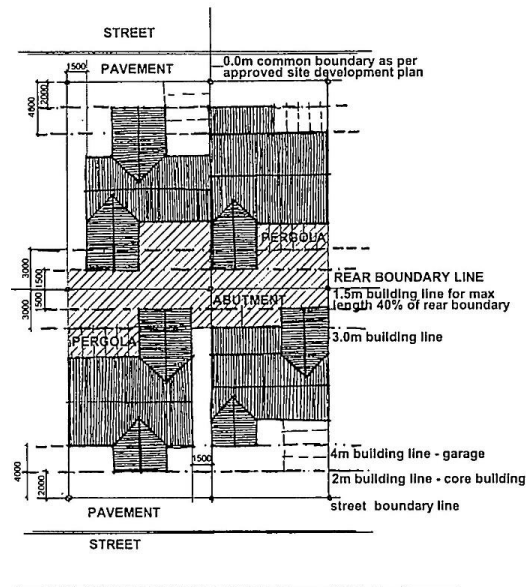


Figure 17: Illustration of stepped building line along rear boundary that encourages a varied building footprint

- e) The combined total of the two **side building lines** must equal 3,0 m. Placing the **core building** or any one of the outbuilding(s), with the exception of the garage and/or carport (also refer to Par 6.2.1 (f) below), closer than 1,5 m from any one of the two side or rear boundary is not allowed, **except** where 0,0 m common building lines is permissible as indicated on the approved site development plan.
- f) A 0 (zero) m building line for placing the garage and/or carport on one of the two side boundaries will be allowed with the condition that the other side building line will be 1,5 m from the boundary.
- g) Relaxation of the above prescribed side building lines can be given with an approved site development plan for a group (two or more erven). The latter clearly indicating the building lines proposed, must be submitted for **prior** approval.
- h) Relaxation of the prescribed 1,5 m side building line for individual houses adjoining public / green open spaces to 0m will be considered on merit. Windows on the relaxed 0m boundary side may only be sliding sashes and **no** doors on the 0 (zero) m boundary side will be permitted. Doors must be set back at least 1,5 m.

6.2.2 Other Categories of Zoning

- a) For all other categories of development, a site development plan indicating the

building lines proposed must be submitted for **prior** approval.

6.3 BUILDING HEIGHT RESTRICTION

6.3.1 Group Housing (including Town Housing)

- a) Building height for all erven may not exceed 2 storeys, **except** erven 14902 to 14910; 14912; 14913; and 14915 to 14917 immediately adjacent to Welgevonden Boulevard where the building height is prescribed and restricted to max. 5 700 mm measured from the top of the pavement in Welgevonden Boulevard to the ridge of the roof.
- b) Relaxation of the above prescribed building height can be given with an approved site development plan. The latter clearly indicating the building height(s) proposed must be submitted for prior approval.

6.3.2 Other Categories of Zoning

- a) Building height prescription to be in accordance with the approved site development plan, however in all instances the maximum permissible building height may not exceed 2 storeys plus a loft storey, except in cases where the basement storey is used exclusively for parking, in which case the basement may be added as an additional storey.

6.3.3 Definition of "Storey"

For the purposes of Par 6.3 "storey" means a single level of any building, measured from finished floor level to finished floor level of the storey above, or to the ceiling in the case of the top storey. A roof-space utilised or intended to be utilised for the purpose of human habitation is also regarded as a storey. If the ceiling level varies, the mean ceiling level will be calculated. If the maximum of one storey is permitted, the height of the storey may not exceed 4,0 m; if two storeys are permitted, the storey height may not exceed 8,0 m and so forth.

Note: See the applicable *Stellenbosch Municipality Zoning Scheme Regulations*.

6.4 COVERAGE

Coverage refers to all building forms under a roof and includes the core building, garages, verandas and all outbuildings.

6.4.1 Group Housing (including Town Housing)

a) Coverage for all erven EXCEPT erven in projects 11, 11(a) and 12:

50% of erf size calculated as the total building area under roof **excluding** covered stoeps and balconies. For "poort" erven, see Par 6.4.1 (c) below.

b) Coverage for all erven in project 11, 11(a) and 12:

Limited to 50% of erf size (for "poort" erven, see Par 6.4.1 (c) below). Coverage for aforementioned erven is strictly calculated in accordance with the Stellenbosch Municipal Zoning Scheme Regulations as the total building area under roof **including** covered stoeps, balconies, etc.

- c) The coverage on all "poort" erven in all projects will be determined in accordance with the site development plan for that specific erf and is **not** limited to the 50% guideline.
- d) Relaxation of the above prescribed coverage can be given with an approved site development plan for a group (two or more erven). The latter clearly indicating

the coverage proposed must be submitted for **prior** approval. Architectural professionals must indicate Coverage under the following subsections:

- i. Coverage of interior areas i.e. core building, abutments and enclosed stoeps to form part of the interior.
- ii. Coverage of non-enclosed areas i.e covered stoeps, covered carports and covered pergolas that do not form part of the interior.
- iii. Total Coverage including all areas mentioned in (i) and (ii) above.

6.4.2 Other Categories of Zoning

Coverage and other development parameters: As per the approved site development plan.

7.0 PROJECT 12 – SPECIFIC GUIDELINES FOR ERVEN IMMEDIATELY ADJACENT TO WELTEVREDEN FARM

In addition to these architectural directives and design guidelines, specific guidelines for Welgevonden erven 15286 to 15297; 15464; 15463; 15462; 15453; 15448; 15447; 15434; and 15433 have been approved to ensure that the aesthetic and architectural requirements for the development of these erven immediately adjacent to the Weltevreden Farm are met.

The documentation is included under Annexure B and is available on request from the Welgevonden Estate Office or the Welgevonden Website.

8.0 SMALL HOLDINGS

As far as Par 6.0 — **Planning Guidelines** is concerned, separate guidelines for the smallholdings have been prepared and approved and are available on request from the Welgevonden Estate Office or the Welgevonden Website.

9.0 FUTURE ALTERATIONS AND ADDITIONS

- a) All future alterations and additions must comply with these architectural directives and design guidelines. Additions must match the original building design in style, elevation and material usage.
- b) Building plans must be prepared in accordance with these architectural directives and design guidelines for examination and aesthetic approval by the Review Architect, and approval of the Estate Manager must be obtained as prescribed herein.

SCHEDULE OF REVISIONS

WHOA Architectural Directives and Design Guidelines – including Control Measures to Regulate the Preparation and Processing of Building Plans

| DATE OF AGM | DESCRIPTION |
|--------------------------|---|
| 1 October 2003 | Par 5.2.1 and 6.0 – Earthcote as paint finish omitted. |
| | Par 5.2.1 – Updated and revised colour scheme for exterior walls added. |
| | Paragraph 3.1 – Aesthetic Approval – Item (c) (1) to (c) (8) and (e) added. |
| | Par 6.0 – Boundary walls – par (d) – Height of low walling added. |
| 23 September 2004 | Par 11.4.1 – Description on how coverage is calculated added. |
| 19 August 2005 | General updating of guidelines comprising addition of images and updating/revision of text as follows: Note: Document re-numbered as required to accommodate new / updated text. |
| | Par 3.1 A (a) – Number of building plans to be submitted updated to 5; and later updated to 6. |
| | Par 3.1 A (b) – Electronic copy of approved building plans required. |
| | Par 5.0 – Images and text added. |
| | Guidelines on <i>5.1 Building Form</i> and <i>5.2 Building Platform</i> added. Rest of document re-numbered accordingly. |
| | Par 5.1 to 11.0 (as per guidelines dated 23 September 2004) re-numbered and guidelines for <i>5.7 Garages and Carports</i> ; <i>5.9 Linking Elements</i> ; <i>5.12 Guidelines for Soft Landscaping</i> and <i>5.15 Privacy and Noise</i> added. |
| | Par 5.3.1 (d); (g) and (h) added – Preferred roof pitch 40 degrees. Min. roof overhang omitted. Clipped eaves added. Note on roof pitch of core buildings on common boundaries added. |
| | Par 5.3.2 (c) – Shadecloth colour revised from black to dark grey. |
| | Par 5.3.3 and 5.3.4 – Colour Dark Dolphin as approved accent colour for fascias, bargeboards, gutters and rainwater downpipes added. |
| | Par 5.4 – Stipple plaster limited to use on building plinth only. No cement based plaster paints permitted. |
| | Par 5.4.1 – Colour Dark Dolphin as approved accent colour added. |

| DATE OF AGM | DESCRIPTION |
|---------------------------------------|--|
| 19 August 2005 (continued) | Par 5.5 — Windows and Doors, par (e) catalogue nos for dormer windows updated; par (g) and par (h) added. |
| | Par 5.5.1 — Timber varnish colour Dark Oak (code CVA888) added. Aluminium windows and doors may be epoxy powder coated dark brown colour code MATT NM ANP 3056. Colour for metal garage doors specified. Doors, windows and shutters — Dark Dolphin as approved accent colour added. |
| | Par 5.7 Garages and Carports — Notes previously in text under Par 5.3 (e) moved to this Par and additional notes added. Horizontal pattern timber garage doors permitted. Chevron pattern garage doors omitted. Timber sectional overhead type timber doors added. " <i>Coroma Coroflute</i> " or similar approved metal garage doors with horizontal pattern added. |
| | Par 5.8.1 — Verandas, Pergolas and Columns:- No tanalith or round timber pole structures of any kind allowed. |
| | Par 5.8.4 — Balustrading:- Colours updated. |
| | Par 5.10.1 (c) — Walling on side boundaries on the street side of the core building and garage to be kept low at a max. height of 1200 mm. Par 5.10.2 — Guidelines for gates added. |
| | Par 5.13: Guidelines for AC units added. Colour for satellite dishes added. Specific requirements for boxing in services for erven 14902 to 14910; 14912; 14913 and 14915 to 14917 immediately adjacent to Welgevonden Boulevard added. Guidelines for solar thermal systems added. |
| | Par 5.14: No house names allowed. No floodlights permitted. Burglar bars — notes added. e) Illustration of typical chimney types added. No Wendy Houses, Tool sheds or temporary structures permitted. Guidelines for awnings added. |
| | Par 6.2.1 (d) — Rear Building line for all erven in Project 11, 11a and 12 revised. |
| | Par 6.3.1 (a) and (b) — Building heights for erven 14902 to 14910; 14912; 14913 and 14915 to 14917 and erven 15286 to 15297 added. |

| DATE OF AGM | DESCRIPTION |
|--------------------|--|
| | Par 6.4.1 — Coverage calculation for all erven in projects 11, 11a and 12 revised and limited to 50% coverage calculated as per method stipulated in Stellenbosch Municipal Zoning Scheme Regulations. |
| | Par 7.0 — Specific guidelines for erven in Project 12 immediately adjacent to Weltevreden Farm added under Annexure B. |
| 21 May 2010 | General updating of guidelines as instructed by Welgevonden Aesthetic Committee (WAC) as follows: |
| | Welgevonden Aesthetic Committee (WAC) replaces Dennis Moss Partnership as body for aesthetic control. |
| | Par 5.3.1 (b) (ii) — Word "gable" replaced with "parapet". |
| | Par 5.3.1 (c) fascia added. |
| | Par 5.3.1 (b), (g) — Sentence "roof overhangs are encouraged" omitted. |
| | Par 5.3.2 (c) shade cloth to be screened with fascia added. |
| | Par 5.3.2 (d) and (e) added. |
| | Par 5.4 (e) added. |
| | Par 5.4.1 (c) and 5.5.1 (c) (i) Matt Traffic Grey added as accent colour. |
| | Par 5.4.1 exterior wall colours revised as approved Feb 2008. |
| | Par 5.5 (d) aluminium shutters added. |
| | Figure 9 — Clerestory window, size 900x800mm omitted. |
| | Par 5.7 (b) revised — Words "(single width)" omitted. |
| | Par 5.8.1 (e) added and colour note for Bluegum laths ("Bloekomlatte") and "Spaanse Riet" added under 5.8.1 colour (i). |
| | Par 5.8.3 (d) revised. |
| | Par 5.9 (c) — Word "building" replaced with "boundary". |
| | Par 5.10.1 (e) updated. Steel columns and note on height of plinth wall added. |
| | Par 5.10.1 (f) colour black added. |
| | Par 5.13 (a) revised. |
| | Par 5.13 (b) — Sentence "The position, size and siting of satellite dishes must be approved by the WHOA" omitted. |

| DATE OF AGM | DESCRIPTION |
|------------------------------------|---|
| 21 May 2010 (continued) | Par 5.13 (e) revised. Circular steel flue pipes permitted. |
| | Par 5.14 (c) — Sentence "Security gates are only permissible if mounted internally behind a solid door and is therefore not visible from the exterior of the building" omitted. |
| | Par 5.14 (d) — Word "pre-fabricated" added. |
| | Par 5.14 (e) (ii) and (iii) added. |
| | Par 5.14 (g) revised. |
| | Par 5.15.1 (b) revised. |
| | Par 6.2 (f) Side building line relaxed from 2,0 m to 1,5 m. |
| | Par 6.2 (g) and 6.4.1 (d) — Sentence "for a group (two or more erven)" added. |
| | Par 6.2 (h) added. |
| | Note — Annexure A and B — no changes |
| 11 April 2012 | General update of document to include the architectural guidelines for Area 1 as instructed on by the WAC as per decision taken at Executive Committee meeting on 23 May 2011. Guideline document for Area 1 dated 1 Oct 2003 superseded and updated with this document. |
| | Planning Guidelines for Area 1 as per guideline document for Area 1 dated 1 Oct 2003 included under Annexure C. |
| | Par 9.0 added. |
| 27 November 2014 | <p>Administrative procedures set out in Par 1.0 — 4.0 revised, but architectural directives and design guidelines remain unchanged as per document dated 11 April 2012, except for—</p> <p>i) Par 5.4.1 (e) to which the following Note was added:</p> <p>Note: The colours selected may from time to time change or be discontinued by the manufacturer. As it is not possible to update the above list with each and every such change or discontinuation, owners / building contractors are required to check with the WAC before commencing with paint work.</p> |

| DATE OF AGM | DESCRIPTION |
|--------------------------|---|
| | <p>ii) Par 5.12.1 (d) which was substituted as follows:</p> <p>o plants which have been declared Weeds and Alien Invader Plants in South Africa in terms of the Regulations issued under the <i>Conservation of Agricultural Resources Act, No 43 of 1983</i>, as amended, or that are under consideration to be included on the invader list may be planted.</p> <p>Note: For detailed information regarding the various lists, consult the homepage of the South African National Biodiversity Institute at http://www.plantzafrica.com.</p> |
| 29 September 2015 | <p>Par 1.2 amended by adding the following sentences at the end:</p> <p>For minor alterations that do not require building plans for municipal approval, the WAC may in its discretion accept sketch plans. Should such sketch plans in the discretion of the WAC not contain sufficient information for it to take a decision on the proposed alterations, it may require the member to provide more information, including complete building plans.</p> |
| | <p>Par 3.1 amended by—</p> <p>Inserting a new Par (1).</p> <p>Renumbering the existing Par (1) to Par (2) and rephrasing the paragraph.</p> <p>Renumbering the existing Par (3) and Par (4) to Par (4) and Par (5), respectively.</p> |
| | <p>Par 4.0 (a) amended by adding the following sentence at the end:</p> <p>— No deviations from the aesthetically approved plans, finishes and colours may be implemented without written approval by the WAC.</p> |
| | <p>Par 5.1 amended by adding the following paragraph:</p> <p>Secondary building structures will be referred to as abutments to the core building.</p> |
| | <p>Par 5.1.1 (a) amended by—</p> <p>Substituting the reference to "Figure 5.1" for the reference "Figure 5".</p> <p>Renumbering Figure 5 to Figure 5.1.</p> |
| | <p>New Par 5.1.2: Abutments and new Figure 5.2: Abutment Relation to Core Buildings inserted.</p> |

| DATE OF AGM | DESCRIPTION |
|----------------------------------|--|
| 29 September 2015 (continued) | <p>Par 5.3.1:</p> <p>Par (c) amended by inserting the words "abutments as well as" in the 1st line.</p> <p>Par (e) amended by adding the words "- unless if this lean-to is treated as an abutment and complies with the rules pertaining to abutments (Refer to Par 5.1.2)" at the end.</p> <p>Exclusions amended by substituting the words "<i>any core building structure</i>" for the words "<i>the main dwelling</i>" in the first exclusion.</p> |
| | <p>Par 5.4 (a) amended by—</p> <p>Inserting the words "abutments, garden walls and" after the word "Building".</p> <p>Adding the following sentence at the end:</p> <p>Accent colours as per the colour schedule below, are encouraged for these elements.</p> |
| | <p>Par 5.4.1:</p> <p>Par (a) amended by inserting the word "Pockets" after the word "Colour".</p> <p>Par (b) amended by substituting the words "pockets" as defined in Par (c)" for the word "listed".</p> <p>Par (c) substituted.</p> <p>Par (e) substituted.</p> |
| | <p>Par 5.5.1 amended by—</p> <p>Inserting a new Par (c) Aluminium.</p> <p>Omission of "Aluminium" from Par (b).</p> <p>Renumbering the existing Par (c) to Par (d) and rephrasing Paras (i) — (iii) thereof.</p> |
| | <p>Par 5.6 (a) amended by adding the words "in accordance with Par 5.4.1 (c) above" at the end.</p> |
| | <p>Par 5.7 (d) amended by substituting the reference "Par 5.5.1 (d) (ii)" for the reference "Par 5.5.1 (c) (ii)".</p> |
| | <p>Par 5.8.1 amended by—</p> <p>Inserting the words "(unless built hidden behind a parapet, and used as an abutment)" after the word "degrees".</p> <p>Substituting in Par (i) of Colour the reference "Par 5.5.1 (d)" for the reference "Par 5.4.1 (c)".</p> <p>Exclusions added/clarified.</p> |

| DATE OF AGM | DESCRIPTION |
|--------------------------|---|
| | Par 5.8.2 amended by substituting in Par (i) of Colour the reference "Par 5.5.1 (d)" for the reference "Par 5.4.1 (c)". |
| | Par 5.8.4 amended by substituting in Paras (i) and (ii) of Colour the reference "Par 5.5.1 (d)" for the reference "Par 5.4.1 (c)". |
| | <p>Par 5.10.1:</p> <p>Par (a) amended by adding the following sentence at the end: These walls must be painted in a colour as per Par 5.4.1 (c) above.</p> <p>Par (b) amended by adding the following words at the end: <i>in one of the approved "pocket" accent colours</i></p> <p>Par (f) substituted.</p> |
| 26 September 2016 | <p>Par 3.1 (5) (h) substituted by the following paragraph:</p> <p>Complete door, window and shutter schedule with dimensions, material description and finishes.</p> |
| | <p>Par 5.5:</p> <p>i) The heading substituted as follows: 5.5 WINDOWS, DOORS AND SHUTTERS</p> <p>Par 5.5 (d) amended by adding at the end: , provided that the colour of the shutters must match that of the window frame over which they close.</p> <p>After Par 5.5 (d) the following new paragraphs inserted:</p> <p>uPVC type windows, doors and shutters will only be considered if the windows, doors and shutters are as per the colour outline included under <i>Par 5.5.1</i> below, the proportions are as specified under <i>Par 5.5 (a)</i> above, and if they comply with the provisions of <i>Par 5.5 (d)</i> above.</p> <p>Material used for windows and shutters must be the same throughout and may not be mixed.</p> <p>The 5th Exclusion amended by omitting the words "window and".</p> |
| | <p>Par 5.5.1:</p> <p>Par (a) substituted by the following paragraph:</p> <p>Timber windows, doors and shutters can be varnished or painted as per the colour outline below; aluminium windows, doors and shutters to be epoxy powder coated as per the colour outline below; uPVC windows, doors and shutters to be as per the colour outline below:</p> |

| DATE OF AGM | DESCRIPTION |
|------------------------------|--|
| | <p>The introductory line to Par (c) substituted by the following: Aluminium windows, doors and shutters may be in any of the following approved colours:</p> <p>After Par (c) the following new paragraph inserted: cA)uPVC: uPVC windows, doors and shutters may be in any of the following approved colours:</p> <p>White Matt Traffic Grey Dark Umber Grey Matt Charcoal</p> <p>Par (d) (i): The heading amended by adding the words "and Shutters". Par (d) (i) amended by inserting, "uPVC" after the word "aluminium" in the 8th line.</p> <p>Par (d) ii) amended by adding the following item at the end: uPVC garage doors may only be to any of the approved colours in <i>Par 5.5.1</i> (cA) above, and must be the same as the window frame colour, or white.</p> |
| | <p>Par 5.7 (c) amended by inserting the words ", or similarly patterned uPVC garage doors," after the word "pattern" in the 7th line.</p> |
| <p>21 August 2017</p> | <p>General</p> <p>i) Abolition of WAC</p> <p>The Welgevonden Aesthetic Committee (WAC) which was appointed by Excom to take responsibility for aesthetic control with effect from 21 May 2010 was abolished by Excom on 9 February 2017.</p> <p>Its building plan examination function was entrusted to an appointed independent Review Architect, and its administrative functions were allocated to the Administration Office and the Estate Manager.</p> <p>Excom again assumed responsibility for evaluating any proposed relaxation of, or deviation from, the architectural directives and design guidelines, as provided for in the WHOA Constitution, with due regard to any recommendation of the Review Architect in respect of each particular case. When deemed appropriate, Excom appoints another independent adviser to assist it in the evaluation of any such recommendation.</p> <p>Par 1.0 – Introduction was revised accordingly to reflect this changed procedure.</p> |

| DATE OF AGM | DESCRIPTION |
|--|---|
| <p>21 August 2017 (continued)</p> | <p>Style Changes: The following general style changes were effected with a view to consistency:</p> <p>“building contractor” / “contractor” ⇒ “building contractor”.</p> <p>“core building” / “main building” / “main dwelling” ⇒ “core building”.</p> <p>“Estate” / “Welgevonden” / “Welgevonden Estate” ⇒ “Welgevonden Estate”.</p> <p>“member” / “home owner” / “owner” / “property owner” / “registered property owner” ⇒ “owner”.</p> <p>“objects” / “objectives” ⇒ “objects”.</p> <p>“shadecloth” / “shade cloth” ⇒ “shade cloth”.</p> <p>“is to be” / “must” / “needs to” / “shall” / “should” / “will” ⇒ “must”.</p> <p>Grammar, spelling, etc.: Various grammar, spelling and punctuation mistakes, and general style inconsistencies corrected, and superfluous wording omitted, without amending any of the actual directives or guidelines.</p> |
| | <p>Par 1.2:</p> <p>The 3rd paragraph of Par 1.2 is provided with a heading “1.2A Sketch Plans”, and revised to reflect the abolition of the WAC.</p> <p>The following new paragraph is added:</p> <p>The approval procedure, general control measures, and directives and guidelines applicable to building plans also apply to sketch plans, with the necessary changes.</p> |
| | <p>Par 1.3 revised to reflect the abolition of the WAC and to describe the building plan approval procedure that must be followed by the Review Architect; and to provide for the making of general recommendations by the Review Architect.</p> |

| DATE OF AGM | DESCRIPTION |
|--|---|
| <p>21 August 2017 (continued)</p> | <p>Par 1.5 amended by—</p> <p>inserting the following paragraph after the 1st paragraph:</p> <p>If in Excom’s discretion relaxation or deviation is warranted, it must indicate this in a letter addressed to the Stellenbosch Municipality, which letter must accompany the signed as approved building plans submitted to the Municipality by the owner.</p> <p>inserting the following paragraph after the 1st paragraph:</p> <p>In terms of clause 61A.3 of the WHOA Constitution any relaxation or deviation allowed by Excom must be reported to owners at the next ensuing annual general meeting of the WHOA.</p> <p>omitting the 3rd paragraph to reflect the abolition of WAC.</p> |
| | <p>Par 2.1 (1) amended by omitting the words “in special cases” in the 3rd line.</p> |
| | <p>Par 2.2 (2) amended by substituting “Review Architect” for “WAC”.</p> |
| | <p>Par 3.1:</p> <p>Par (1) amended by substituting “the Welgevonden Administration Office” for “WAC”; and</p> <p>Par (2) amended by substituting the words “Administration Office to be stamped as approved by the Welgevonden Estate Manager” for “WAC”.</p> |
| | <p>Par 3.2: The heading amended by omitting “by WAC”.</p> |
| | <p>Par 3.2 (2) substituted by the following paragraph:</p> <p>2) The architectural character of all new building(s), alterations and/or additions will be considered in relation to that of the development guidelines and other dwellings in the area as well as the aesthetic appearance, colour scheme and proposed siting of the building(s) and any other such factors that may be deemed suitable at the time of aesthetic approval.</p> |
| | <p>Par 3.2 (3) amended by substituting “Review Architect” for “WAC”.</p> |
| | <p>Par 3.2 (4) substituted by the following paragraph:</p> <p>the Review Architect is satisfied that the building plans comply with the architectural directives and design guidelines, same must be forwarded to the Welgevonden Administration Office under cover of a letter indicating that the plans are aesthetically approved.</p> |

| DATE OF AGM | DESCRIPTION |
|--|---|
| <p>21 August 2017 (continued)</p> | <p>After Par 3.2 (4) the following new paragraph inserted: Upon receipt of the building plans and covering letter from the Review Architect, the Estate Manager must on behalf of Excom stamp and sign the building plans as approved, and inform the owner that the plans may be collected for submission to the Stellenbosch Municipality.</p> |
| | <p>Par 3.2 (5): Par (5) substituted by the following paragraph: Notwithstanding that the building plans may comply with all applicable restrictions, zoning, regulations and by-laws of the Stellenbosch Municipality and any other competent authority, the Review Architect, after consultation with Excom, as deemed necessary, may withhold aesthetic approval if the plans do not comply with the prescribed architectural directives and design guidelines: Provided that the approval of such plans shall not unreasonably be withheld. The following Note added at the end: Note: See par 1.4 – Disagreement or Dispute concerning Interpretation.</p> |
| | <p>Par 3.2 (6) amended by substituting "Administration Office" for "WAC".</p> |
| | <p>Par 3.3 (1) substituted by the following paragraph: Only after confirmation of aesthetic approval has been obtained may the building plans be submitted to the Stellenbosch Municipality for its approval.</p> |
| | <p>After Par 3.3 (1) the following new paragraph inserted: Building plans submitted to the Stellenbosch Municipality must be accompanied by the letter indicating Excom's willingness to allow any relaxation or deviation proposed.</p> |
| | <p>Par 3.4 substituted by the following paragraph: The building contractor must ensure that a copy of the building plans signed as approved by the Estate Manager and the Stellenbosch Municipality is at all times available on the site for inspection.</p> |
| | <p>Par 3.6 substituted by the following paragraph: Deviation of, or Variation from, Approved Building Plans If an owner intends to effect a deviation from, or variation of, the aesthetically approved building plans and finishes, or from any of the items approved by the Estate Manager, she/he must submit an application to that effect in writing to Review Architect and/or the Estate Manager, as applicable, for scrutiny prior to implementation thereof on</p> |

| DATE OF AGM | DESCRIPTION |
|--|--|
| <p>21 August 2017 (continued)</p> | <p>site, and the deviation or variation may be implemented on site only if approved it in writing.</p> <p>If in the opinion of the Review Architect Excom’s approval is required for a proposed deviation or variation, the request must be submitted to Excom together with the Review Architect’s recommendation in writing, and the deviation or variation may be implemented on site only if Excom approves it in writing.</p> <p>If in the opinion of the Review Architect the approval of the Stellenbosch Municipality is also required for the proposed deviation or variation, the owner must submit an application to that effect to the Municipality, and the deviation or variation may be implemented on site only if the Municipality also approves it in writing.</p> <p>If the proposed deviation or variation entails a relaxation of, or deviation from, the architectural directives and design guidelines it must be dealt with as set out in Par 1.3</p> <p>— Review Architect and Par 1.5 — Relaxation of, Deviation from, Architectural Directives and Design Guidelines above.</p> <p>All such applications must be in written form and no telephonic requests for approval of deviations or variations will be entertained.</p> <p>Rectification of any exterior elements, colours and materials not complying with the architectural directives and design guidelines and implemented on site without the prior written approval by the Review Architect and/or the Estate Manager, as applicable, will be for the account of the developer and/or owner concerned.</p> <p>An electronic copy in dxf format of record drawings ["as- built plans"] must be forwarded to the Administration Office prior to application to the Stellenbosch Municipality for the issuing of a certificate of occupation.</p> <p>Note: Failure to submit an electronic copy in dxf format of record drawings ["as-built plans"] to the Administration Office prior to application to the Stellenbosch Municipality for the issuing of a certificate of occupation, or to submit updated record drawings ["as-built plans"] of any alterations and/or additions, constitutes a breach of Estate rules and may result in the imposition of a fine and ultimately the refusal of consent to transfer.</p> |
| | <p>Par 4 (a): The 2nd line of Par (a) is numbered "(b)" and substituted as follows:</p> <p>o deviations from, or variations of, the aesthetically approved plans and finishes, or from any of the items approved by the Estate Manager, may be implemented on site without the prior written approval of the Review Architect and/or the Estate Manager, as applicable, or, if required, the Stellenbosch Municipality.</p> |

| DATE OF AGM | DESCRIPTION |
|-------------------------------|--|
| 21 August 2017 (continued) | Par 5.0 (f): The Note following Par 5.0 (f) amended by— omitting the words “the WAC on behalf of”; and adding the following words at the end: , subject to any dispute being decided in the favour of the applicant |
| | Par 5.1.2 (a) amended by substituting “the Review Architect” for “WAC”. |
| | Par 5.3.2 (e) “ Shade cloth colour ” amended by inserting the words “to the Estate Manager” after the word “submitted”. |
| | Par 5.3.3: Par (a) amended by inserting the words “and bargeboard” after the word “fascia”; Par (b) amended by inserting the words “and bargeboard” after the word “fascia”; and Exclusions amended by inserting the words “and bargeboards” after the word “fascias”. |
| | Par 5.4 (e) amended by substituting “Review Architect” for “WAC”. |
| | Par 5.4.1: Par (a): The Note amended by substituting the words “Estate Manager prior to application on site” for “WAC”; and Par (d) substituted by the following paragraph: colour swatches of all exterior colours to be used must be submitted to the Estate Manager for provisional approval prior to the approved building plans being submitted to the Stellenbosch Municipality, and final approval will be given by the Estate Manager only once the building is under construction and 1m ² of each colour to be used has been painted on a wall for final approval on site. Par (e): The Note following the Table amended by substituting “Estate Manager” for “WAC”. |
| | Par 5.5 (f) amended by— inserting the words “and/or an adjacent public open space (green area),” after the word “street” in the 3 rd line; and substituting “Review Architect” for “WAC and WHOA” in the last line. |

| DATE OF AGM | DESCRIPTION |
|--|---|
| <p>21 August 2017 (continued)</p> | <p>Par 5.7 amended by –</p> <p>Par (a) substituted by the following paragraph:</p> <p>Each erf may have a maximum of two single garage doors facing the street and parking space conforming to the dimensions as per SANS 10400 for a minimum of two cars must be provided on each Erf.</p> <p>Par (c) substituted by the following paragraph:</p> <p>Garage doors may be hardwood timber tip-up or sectional overhead type with horizontal (HWB) or vertical (VWB) pattern. Timber garage doors with vertical pattern are prescribed and preferred; however, metal and uPVC garage doors may be permitted, provided that the prior written approval of the Estate Manager has been obtained. Only "Coroma Coroflute" or similar approved sectional overhead metal garage doors with horizontal pattern, or similarly patterned uPVC garage doors, may be permitted.</p> <p>Par (f) amended by substituting "Review Architect" for WAC".</p> <p>After Par (f) the following new paragraph inserted:</p> <p>The sides of a carport may not be closed off with any kind of screening such as Bluegum laths ("Bloekomlatte") and "Spaanse Riet", slats, mesh, shade cloth, canvas or similar, but must be left open.</p> |
| | <p>Par 5.8.2 (b) amended by inserting the words "or varnished" after the word "painted".</p> |
| | <p>Par 5.8.3 (c) amended by omitting the words "Where appropriate," at the beginning of the 2nd sentence.</p> |
| | <p>Par 5.8.4 amended by adding the following Exclusion:</p> <p>No solid wall balustrades allowed.</p> |
| | <p>Par 5.10.1 (d) amended by omitting the words "As a rule" at the beginning of the 1st sentence.</p> |
| | <p>Par 5.13 (e) amended by substituting "Estate Manager" for "WAC".</p> |
| | <p>Par 5.14 (a):</p> <p>Par (ii) amended by substituting "Estate Manager" for "WAC"; and</p> <p>Par (iv) amended by inserting ", Polished Steel" after the word "Black".</p> |
| | <p>Par 5.14 (c) amended by –</p> <p>adding the words "and Security Gates" to the heading; and</p> <p>substituting "Estate Manager" for "WAC" in Par (iv).</p> |
| | <p>Par 5.14 (f) amended by substituting "Estate Manager" for "WAC".</p> |

| DATE OF AGM | DESCRIPTION |
|--|--|
| <p>21 August 2017 (continued)</p> | <p>Par 5.14 (g) amended by— adding the words “and Tool Sheds” to the heading; substituting “Estate Manager” for “WAC” in the 2nd line; and substituting “Administration Office or the Welgevonden Website” for “WAC” in the 4th line.</p> |
| | <p>Par 5.14 (h) substituted by the following paragraph: h) Awnings: Awnings are allowed if in a plain design without stripes and scallops and of a single colour matching the colour of the core building. Canvas awnings are preferred; however, aluminium awnings conforming to the design and colour directives for canvas awnings will be considered. Plans for awnings showing the proposed design and colour must be submitted to the Estate Manager for approval prior to installation. Exclusions: No fibreglass awnings and canopies are allowed.</p> |
| | <p>After Par 5.14 (h) the following new paragraph inserted: i) Vertical Screening: Retractable vertical screening on patios, verandas and stoeps is allowed if of a plain design without stripes, in white or of a single colour matching the colour of the core building. Plans for vertical screening showing the proposed design and colour must be submitted to the Estate Manager for approval prior to installation.</p> |
| | <p>Par 5.15.1: Par (a) substituted by the following paragraph: It must be stressed that these architectural directives and design guidelines, Excom or the WHOA, or any of its employees or service providers, cannot guarantee visual or noise privacy.</p> |
| | <p>ii) Par (b) amended by substituting “Review Architect” for “WAC”.</p> |
| | <p>Par 6.0: The existing Note is numbered “1”, and the following Note is added: Note 2: For the procedure to be followed when Excom is willing to allow the proposed relaxation of any architectural directive or guideline specified in Par 6.0, see Par 1.3 — Review Architect and Par 3.3 — Submission to Stellenbosch Municipality.</p> |

| DATE OF AGM | DESCRIPTION |
|-------------------------------|--|
| | <p>Par 6.3: The following new paragraph added:</p> <p>6.3.3 Definition of "Storey"</p> <p>For the purposes of Par 6.3 "storey" means a single level of any building, measured from finished floor level to finished floor level of the storey above, or to the ceiling in the case of the top storey. A roof-space utilised or intended to be utilised for the purpose of human habitation is also regarded as a storey. If the ceiling level varies, the mean ceiling level will be calculated. If the maximum of one storey is permitted, the height of the storey may not exceed 4 meter; if two storeys are permitted, the storey height may not exceed 8 meters and so forth.</p> <p>Note: See the applicable <i>Stellenbosch Municipality Zoning Scheme Regulations</i>.</p> |
| | <p>Par 7.0 amended by substituting "Administration Office or the Welgevonden Website" for "Excom" in the 2nd paragraph.</p> |
| | <p>Par 8.0 amended by substituting "the Administration Office or the Welgevonden Website" for "Excom".</p> |
| | <p>Par 9.0 (b) substituted by the following paragraph:</p> <p>Building plans must be prepared in accordance with these architectural directives and design guidelines for examination and aesthetic approval by the Review Architect, and approval of the Estate Manager must be obtained as prescribed herein.</p> |
| <p>24 October 2019</p> | <p>Par 1.5 amended by substituting "clause 61A.3" for "clause 67.3".</p> |
| | <p>Par 5.5 (f) substituted by the following paragraph:</p> <p>Sliding / folding / stacking doors (where the structural opening exceeds 1750 mm in width), will only be permitted if these doors are screened with a timber pergola structure and recessed at least 1500 mm behind the outer line of a deep patio / veranda / stoep, subject to the approval of the Review Architect</p> <p>This amendment does not extend to frameless glass doors. (See 2nd exclusion added: "No frameless glass doors allowed.")</p> |
| | <p>Par 5.11A: The following new paragraph added:</p> <p>5.11A CONVERSION OF GARAGES</p> <p>Architectural drawings showing the proposed changes must be submitted to the Review Architect for approval prior to the conversion.</p> <p>The conversion should be designed as to complement the existing dwelling and the new room must form an integral part of the main dwelling. It may not be constructed as a self-contained unit or alternative entrance to the dwelling.</p> |

| DATE OF AGM | DESCRIPTION |
|--------------------------------|---|
| | <p>The Garage door(s) may only be replaced by a window or windows and such windows must comply with the guidelines as stipulated in paragraph 5.5</p> <p>Parking space conforming to the dimensions as per SANS 10400 for a minimum of two cars must be provided on the Erf. High density living is reliant on on-site parking and the Manager or Review Architect may decline an application which affects the on-site parking detrimentally.</p> |
| | <p>Par 5.14 (f) substituted by the following paragraph:</p> <p>No "Porta Pools" or similar pools above ground level are permitted.</p> <p>No swimming pools will be allowed over the street building line.</p> <p>The position of the pool, pump and filter must be shown on plan, elevation and section submitted for approval.</p> <p>The position of the pool pump and filter must be hidden from view from any public area or street.</p> <p>The position, colour and design of all swimming pools are subject to final approval by the Review Architect.</p> |
| <p>24 November 2022</p> | <p>In the 2022 revision of the WHOA AD&DG the "Welgevonden Estate architectural language", based upon "regional Cape architecture" interpreted with the local vernacular of Stellenbosch in mind, is maintained. However, the evolving requirements of a built-up, mature estate require a fresh look at modern building materials and complementing styles.</p> <p>A number of grammar and style changes have been effected, without changing context or meaning.</p> <p>Footnotes have been added to get rid of a number of "Notes" with content that could be managed better in this way.</p> <p>Reference to the "Welgevonden Development" has for the most part been replaced with "Welgevonden Estate" as the development phase of the Estate has been completed. In the same manner reference to "developer" has been changed to "contractor".</p> <p>"Reviewing Architect" has been replaced by the more appropriate "Review Architect".</p> <p>Reference to "Welgevonden office" has been changed to "Welgevonden Estate Office" to provide clarity to instructions.</p> |
| | <p>"Notes" applicable and referring to Area 1 and 2 (introductory pages of the AD&DG V7 – 26 November 2020) are, with the exception of Note (10) relocated to this, the Schedule of Revisions.</p> |
| | <p>Notes (1) – (9)</p> <p>(1) These architectural directives and design guidelines are subject to periodic revision as deemed necessary.</p> <p>(2) The Architectural Guidelines for Area 1 as per document dated 1</p> |

| DATE OF AGM | DESCRIPTION |
|-------------|---|
| | <p>October 2003 were superseded and replaced as per document dated 11 April 2012.</p> <p>(3) The Architectural Design Guidelines for Area 2 dated 21 May 2010 were revised and updated to include the Architectural Guidelines for Area 1 as per document dated 11 April 2012.</p> <p>(4) The Planning Guidelines approved for Area 1 as per Architectural Guidelines Document dated 1 October 2003 Par 11.0 remained unchanged and are included in the document dated 11 April 2012 under Annexure C.</p> <p>(5) The administrative procedures relating to the processing of building plans were revised on 27 November 2014, but the architectural directives and design guidelines remained unchanged as per document dated 11 April 2012.</p> <p>(6) The architectural directives and design guidelines were amended on 29 September 2015 as indicated in the Schedule of Revisions.</p> <p>(7) The architectural directives and design guidelines, and the administrative procedures relating to the processing of building plans, were amended on 21 August 2017 as indicated in the Schedule of Revisions so that this Version 8 – 21 August 2017 replaces all previous versions to date.</p> <p>(8) The architectural directives and design guidelines were amended on 24 October 2019 as indicated in the Schedule of Revisions so that this Version 9 – 24 October 2019 replaces all previous versions to date.</p> <p>(9) The version number of the architectural directives and design guidelines, Version 9 – 24 October 2019, as indicated in the Schedule of Revisions, is replaced by this, Version 7 – 26 November 2020 to ensure continuity as the last version approved by the Stellenbosch Municipality was Version 6 – 29 September 2015.</p> <p>NOTE: The contents of Note (10) "This document consists of ..." is relocated to the front page of the document.</p> |
| | <p>A new Par 1.0A is inserted to include a number of definitions relevant to the AD&DG.</p> <p>New definitions inserted:</p> <p>1.0A.1 "Building plan"</p> <p>1.0A.2 "Excom"</p> <p>1.0A.3 "Prescribed fee as per Control Measures"</p> <p>1.0A.4 "Review Architect"</p> <p>1.0A.5 "Welgevonden Estate Office"</p> <p>1.0A.6 "WHOA"</p> |
| | <p>Par 1.1 is revised by:</p> <ul style="list-style-type: none"> • omitting the third paragraph "The architectural directives ..."; |

| DATE OF AGM | DESCRIPTION |
|---|---|
| 24 November 2022 (continued) | <ul style="list-style-type: none"> omitting the second sentence in the fourth paragraph "The architectural directives and design guidelines seek to protect ..." omitting the "Note" following Par 1.1 referring to Annexure A, as it is no longer relevant within this context. |
| | <p>Par 1.2:</p> <p>In the second line of the first paragraph the words "... at the address determined by Excom ..." are omitted, and the words "... to Excom ..." inserted.</p> <p>The first sentence of the second paragraph, "For the purposes of these architectural directives and design guidelines building plans means design drawings and specifications", is relocated to a new definition 1.0A.1 – "Building plans". The words "Building plans need to be submitted ..." are inserted before the remaining words "... for the construction of ..."</p> |
| | <p>Par 1.2A: The following second sentence is inserted in the first paragraph: "It will be the responsibility of the Review Architect to confirm with Stellenbosch Municipality if approval will be required."</p> |
| | <p>Par 1.3:</p> <p>In the fifth line of the second paragraph the words "... by the owner or her/his agent ..." are inserted after the words "... made in writing ..."</p> <p>The "Note" following the second paragraph is omitted, its content relocated to footnote 4.</p> <p>The "Note" following the fourth paragraph is omitted, its content relocated to footnote 5</p> |
| | <p>Par 2.1:</p> <p>1): The acronym (SACAP) is inserted after words "South African Council for the Architectural Profession", omitting the words "... however, a waiver to this condition can be approved should the required design standards be met."</p> <p>The sentence: "The registration must be current and valid at the time of submission." is inserted after (SACAP).</p> <p>The last sentence of (1) is revised to include the words "... or submitted by unregistered professionals ..." after the word "design".</p> <p>A new paragraph (1A) is inserted to formalise the requirements for sketch plans.</p> <p>The "Note" referring to colour approval procedures and selection, with reference to Par 5.4.1. and Par 5.5.1. is omitted.</p> |
| | <p>Par 2.2:</p> <p>1) The first sentence is revised with the following words omitted: "...</p> |

| DATE OF AGM | DESCRIPTION |
|---|--|
| <p>24 November 2022 (continued)</p> | <p>individual phases in the ..." and "... Development..." The word "... Estate ..." is inserted to reflect current practice.</p> |
| | <p>Par 3.1:</p> <p>1), (4) and (5) are omitted to comply with current regulations relating to the format and submission criteria for building plans in the Stellenbosch Municipal area.</p> <p>2) is revised to read: "An electronic copy of the building plan must be submitted in PDF format via e-mail to the Welgevonden Estate Office."</p> <p>3) is revised to read: "Approved submissions will be electronically stamped by the Estate Manager / the Welgevonden Estate Office once aesthetically approved. The Welgevonden Estate Office will issue a Letter of Approval to accompany the submission to the Stellenbosch Municipality."</p> |
| | <p>Par 3.2:</p> <p>2), (3), (6) and (7) are omitted in compliance with current practice and Municipal requirements.</p> <p>A new paragraph (1A) is inserted reading: "The Welgevonden Estate Office will issue an invoice for the applicable plan examination and approval fee to the owner. No review of the submitted plans will take place unless payment is received." to make provision for current procedure</p> <p>Par (4A) is revised inserting "... and e-mail it to the owner, informing her/him that the plans may be submitted to the Stellenbosch Municipality." to make provision for current procedure.</p> <p>The "Note" following (5) is relocated to footnote 6.</p> |
| | <p>Par 3.3:</p> <p>1A) is revised to include the words "..., if applicable." following the words "... deviation proposed ..." at the end of the sentence.</p> <p>Three new Pars (3) "An electronic copy ...", (4) "Any proposed deviation ..." and (5) "The deviation or ..." are inserted to make provision for current practice and to comply with regulations.</p> |
| | <p>Par 3.4 is omitted and the content is relocated to the "<i>Control Measures to Regulate the Performance of Services and Building Work</i>" issued by the Excom in accordance with Clause 59A of the WHOA Constitution.</p> <p>Footnote 7 is inserted.</p> |
| | <p>Par 3.5 (2) is omitted and the content relocated to the "<i>Control Measures to Regulate the Performance of Services and Building Work</i>" issued by the Excom in accordance with clause 59A of the WHOA Constitution.</p> <p>Footnote 8 is inserted.</p> |

| DATE OF AGM | DESCRIPTION |
|---------------------------------|--|
| 24 November 2022 (continued) | |
| | <p>Par 3.6:</p> <p>All subparagraphs of Par 3.6, except (5), are omitted in compliance with current practice and municipal requirements.</p> <p>The content of (5) "Rectification of any ..." is included, unnumbered, under the heading.</p> <p>The word "... developer ..." in the last line is replaced by "... contractor ..." to comply with the current reality.</p> |
| | <p>Par 4.0 (b) is revised to make provision for current approval regulations, omitting the words "and/or" and inserting the words "... electronically signed and stamped by ..."</p> |
| | <p>Par 5.0:</p> <p>b), (c), (d) and (e) are omitted to comply with current practice, to eliminate repetitive content and to ensure cohesion in these guidelines.</p> <p>The content of (a) "In order to achieve ..." is retained, unnumbered, under the heading.</p> |
| | <p>Par 5.3.1:</p> <p>c): Footnote 9 is inserted after the last sentence to provide the details of Par 5.4.1 that stipulates the specifications of the roofing material of the core building. The roofing material of abutments, garages and/or carports must match that of the core building.</p> <p>e): The pitch of a lean-to veranda roof of "15 degrees" is revised to read "5 degrees".</p> |
| | <p>Par 5.3.2:</p> <p>b): "Victorian S-Profile roof sheeting, Klip-Lok, or similar concealed fixed roof sheeting" replaces "Everite" Victorian S-profile roof sheeting or similar approved, painted." "The colour "Dove Grey" is added to the specified roof sheeting colours following (b).</p> <p>c) is omitted as the use of shade cloth is no longer allowed.</p> <p>d) is revised with the words "... screened behind horizontal beams or fascias in order not to be visible from any side elevation." inserted at the end of the sentence.</p> <p>e): The words "... or fascias ..." are inserted after "... horizontal beams ..." in the third line. The last sentence of (e) is revised to read: "The louvre frame and louvre blades must be white, alternatively powder-coated Dove Grey, Dark Dolphin or Charcoal to match the main roof." "Dove Grey" is added as a colour in the fourth line.</p> <p>A paragraph "Shade cloth colour" is omitted after the "Note" "Shade</p> |

| DATE OF AGM | DESCRIPTION |
|---|--|
| <p>24 November 2022 (continued)</p> | <p>cloth colour: Only Dark Grey shade cloth may be used. Colour to be submitted to the Estate Manager for approval prior to installation.” as the use of shade cloth is no longer allowed.</p> <p>f): A new paragraph, (f) is inserted, reading “Polycarbonate sheeting may be used as a cover on roofs over patios. However, said materials may not be visible when viewed from below and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation. The sheeting must also be visually concealed from below using timber slats with no gap wider than 25 mm between.”</p> <p>The “Note” following (f) is revised, with the words “will be” in the first line replaced with “will not be”.</p> <p>The first exclusion following the “Note” is revised with the words “... may be used ...” inserted after “... cloth ...” in the first line, and the words “... except for the carport is allowed ...” omitted at the end.</p> <p>“Exclusions”: The last exclusion is revised to include the words “... and/or ...” after “... perspex ...”, with the following words omitted “... and/or polycarbonate sheeting ...” before “... may be used.”</p> |
| | <p>Par 5.3.3: The paragraph “Colour:” following (b) is revised word “colour” after the word “... Chromadek ...” replaced by “colours”, and “Dove Grey or Charcoal” inserted after “... Dark Dolphin ...”</p> |
| | <p>Par 5.3.4 “Colour”: The word “colour” after the word “... Chromadek ...” is revised to read “colours”, with the words “Dove Grey, Charcoal or” inserted before “... Dark Dolphin ...”</p> |
| | <p>Par 5.5:</p> <p>a): The following content under (a) is omitted “Only vertically proportioned doors, windows, shutters, and windows and shutters with a 1 : 1,5 width to height ratio, will be allowed.” and replaced by the inserted content starting with “Windows should have a rectangular vertical proportion. Horizontally proportioned feature windows may in some instances be permitted subject to the approval of the Review Architect ...”.</p> <p>dB) is revised with the words “... doors, ...” inserted before “... windows ...”.</p> <p>e) (ii) is revised with the following content of (ii), and the first bullet, omitted as follows:</p> <p>ii) “Where the core building and/or outbuildings are positioned 1,5 m or less from one of the side boundaries the following directives apply:</p> <p>“No roof space windows will be allowed on the side where the core building and/or outbuilding(s) are positioned 1,5 m or less from one of the two side boundaries, and..”</p> <p>e) (ii) will in future only comprise of the following: “The right of the adjacent owner(s) and views from adjacent residences will be considered</p> |

| DATE OF AGM | DESCRIPTION |
|---|--|
| <p>24 November 2022 (continued)</p> | <p>when the plans are submitted for aesthetic approval.”</p> <p>f) is revised with the following content omitted: “Sliding/folding/stacking doors (where the structural opening exceeds 1750 mm in width), will only be permitted if these doors are screened with a timber pergola structure and recessed at least 1500 mm behind the outer line of a deep patio/veranda/stoep, subject to the approval of the Reviewing Architect”, and the following sentence inserted “Sliding / folding / stacking doors will be permitted subject to the approval of the Review Architect.”</p> <p>g) (ii) is revised with “... and any deviation will be to the discretion of the Review Architect;” inserted after “... storey ...”</p> <p>A new paragraph (g) (vii) is inserted, reading “Frameless glass doors may in some instances be permitted subject to the approval of the Review Architect.”</p> <p>“Exclusions”: The first (No horizontally ...), second (No frameless ...) and sixth exclusion (No steel ...) are omitted.</p> |
| | <p>Par 5.7:</p> <p>a) is revised to read: “Each erf may have a maximum of two single garage doors or one double garage door facing the street, and parking space conforming to the dimensions as per SANS 10400 for a minimum of two cars must be provided on each Erf.”</p> <p>b) is omitted: “Only garage doors of max. 2440 mm (structural opening width) may be used. A double garage must comprise two single garage doors next to each other separated by a prescribed 450 mm wide brick column, plastered and painted.”</p> <p>c): “Estate Manager” in the fourth line is omitted and replaced by “Review Architect”.</p> <p>fA): The second paragraph “Also see guidelines on roof coverings for garages and carports included under Par 5.3.1 c)” is omitted.</p> <p>“Exclusions”: The second exclusion, “No double-width garage doors.” is omitted.</p> |
| | <p>Par 5.8.1:</p> <p>a): The pitch of a lean-to veranda roof of “15 degrees” is revised to read “5 degrees”.</p> <p>b) is revised with the following words inserted: “– aluminium sections proportioned to match standard timber sizes may in some instances be permitted, subject to the approval of the Review Architect. A mixture of timber and aluminium are not allowed.”</p> <p>c) is revised with the following paragraph inserted: “(iv) Aluminium square posts proportioned to standard timber sizes, subject to the approval of the Review Architect.”</p> <p>e) is revised inserting the words “... screened behind horizontal beams or</p> |

| DATE OF AGM | DESCRIPTION |
|---|---|
| <p>24 November 2022 (continued)</p> | <p>fascias in order not to be visible from any side elevation.”</p> <p>“Colour” is revised with the following inserted:</p> <p>“iii) Aluminium – pre-painted in any one of the approved accent colours as listed under Par 5.5.1 (d) above.”</p> <p>“Exclusions”: The first exclusion is revised with the following words omitted: “... <i>except carports (refer to relevant Paragraph above...)</i>”</p> |
| | <p>Par 5.8.2 (b) Colour is revised omitting the unnecessary number (i), resulting in the content “Timber – varnished ...” included unnumbered under the heading.</p> |
| | <p>Par 5.8.3:</p> <p>b): The following words are omitted at the beginning: “Balconies may not be too big (maximum size 20 m²) and ...”</p> <p>c): The second sentence is omitted: “The balcony floor can be tiled.”</p> <p>e) “Colour” is revised omitting the unnecessary number (i) resulting in the content “Plaster on vertical ...” included unnumbered under the heading.</p> |
| | <p>A new paragraph 5.10.1 (h) is inserted: “To create privacy screening between properties boundary walls may in some instances be raised to a maximum height of 2400 mm using a galvanised mild steel frame clad on all sides with Nutec Clad Boarding. These screens must be painted to match the wall colour and is subject to the approval of the owners of the neighbouring property and the Review Architect. This screening will not be allowed on any walls visible from the streetscape.”</p> |
| | <p>Par 5.10.2 (a) is revised with the second sentence of the paragraph reading as follows omitted: “Only gates in a vertical proportioned design may be used. Patterns on gates must read vertical rather that horizontal.”</p> |
| | <p>Par 5.12.3 is revised omitting the unnecessary number (a), resulting in the content “The use of organic ...” included unnumbered under the heading.</p> |
| | <p>Par 5.13:</p> <p>b) is revised with the words “... as far as possible ...” inserted after “... dishes must ...” in the first line, and the sentence “All television aerials or satellite dishes must be maintained and kept in a good condition.” inserted as a third sentence.</p> <p>New paragraphs inserted:</p> <p>(f) “Photovoltaic Panels (PV) will be allowed. The angle at which the panel is mounted must lie flush with the roof, and the frame and fittings must match the roof colour. Detail fitting arrangement and position of equipment must be shown on plan, and elevation submitted to the Review</p> |

| DATE OF AGM | DESCRIPTION |
|---|--|
| <p>24 November 2022 (continued)</p> | <p>Architect for approval.” and (g) “Water storage tanks for the purpose of stormwater harvesting may be installed only at the back of the house in an enclosed back yard and may not be visible from the street or public open spaces. Stormwater pipes and downpipes must be treated discreetly. No tanks will be allowed on the street side of the property. Detail of tanks, positioning and equipment must be shown on plan and elevation submitted to the Review Architect for approval.”</p> |
| | <p>Par 5.14: e) is revised, with the contents of (ii) “Exposed circular steel flue pipes may only protrude through the roof to a max length as prescribed in the National Building Regulations.” omitted, and replaced by “Any exposed circular flue pipes will be allowed to the discretion of the Review Architect.” i): The words “– subject to approval by the Review Architect.” is inserted at the end of the first paragraph.</p> |
| | <p>Par 6.0: In line with current practice, the heading of this paragraph is revised with the words “... FOR AREA 2” omitted.</p> |
| | <p>Par 6.1: The last words in the sentence “Welgevonden Area 2” is replaced with “Welgevonden Estate”.</p> |
| | <p>Par 6.4.1 (d) is revised with the following inserted at the end after “... prior approval.” “Architectural professionals must indicate Coverage under the following subsections: Coverage of interior areas i.e. core building, abutments and enclosed stoeps to form part of the interior. Coverage of non-enclosed areas i.e covered stoeps, covered carports and covered pergolas that do not form part of the interior. Total Coverage including all areas mentioned in (i) and (ii) above.”</p> |
| | <p>Par 6.4.2 is revised omitting the unnecessary number (a), resulting in the content “Coverage and ...” included unnumbered, under the heading.</p> |